

TERRAZZA

CHATSWOOD PLACE, CHATSWOOD

TRANSMITTAL

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DRAWING TITLE: **TRANSMITTAL**

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CHECKED BY:

DWG DATE: **10/05/2019**

SCALE: **AS STATED**

CLIENT: **ROBYN HALL**

PROJECT: **TERRAZZA RESTAURANT**

LOCATION: **Shop R13, Restaurant Level,
Chatswood Place, 260
Victoria Avenue, Chatswood NSW
2067.**

CLIENT SIGNATURE:

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*CONTRACTOR ARE TO LIAISE WITH THIRD PARTY SUPPLIERS TO CONFIRM EXACT REQUIREMENTS.

GENERAL NOTES

THIS SHEET MUST BE CIRCULATED WITH ALL ISSUED DOCUMENTATION.

THE INFORMATION CONTAINED WITHIN THIS DOCUMENTATION IS TO THE BEST OF OUR KNOWLEDGE ACCURATE AND CORRECT. HOWEVER ALL INFORMATION IS INDICATIVE AND EXACT DIMENSIONS, SPECIFICATIONS, AND OTHER RELEVANT INFORMATION SHOULD BE SOUGHT FROM THE APPROPRIATE SOURCE.

IF IN DOUBT, ASK.

IT IS THE RESPONSIBILITY OF THE MAIN CONTRACTOR TO COORDINATE ALL SUB TRADES TO ENSURE DETAILS PERFORM AS INTENDED. IT IS ALSO THE RESPONSIBILITY OF THE MAIN CONTRACTOR TO COORDINATE ALL PROPRIETARY ITEMS TO ENSURE DETAILS PERFORM AS INTENDED.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE EXACT STRUCTURAL DETAILS AND SECURE STRUCTURAL ENGINEER'S CERTIFICATION FOR ALL STRUCTURAL WORKS INCLUDING (BUT NOT LIMITED TO) GLAZING, SIGNAGE, HANGING FIXTURES AND ALL BUILT ELEMENTS.

IT IS THE RESPONSIBILITY OF THE MAIN CONTRACTOR TO SECURE ALL REQUIRED CERTIFICATIONS TO ENABLE RELEASE OF THE OCCUPATION CERTIFICATE. IT IS ALSO THE RESPONSIBILITY OF THE MAIN CONTRACTOR TO CORRESPOND WITH THE COUNCIL OR PRINCIPLE CERTIFYING AUTHORITY AS REQUIRED TO SECURE THE RELEASE OF THE OCCUPATION CERTIFICATE.

ALL DIMENSIONS TO BE VERIFIED ON SITE BY CONTRACTOR PRIOR TO CONSTRUCTION - DO NOT SCALE.

CONTRACTOR TO LIAISE WITH ELECTRICAL CONTRACTORS TO ENSURE ALL POWER, DATA, COMMUNICATION REQUIREMENTS ARE APPROPRIATE AND ACCESSIBLE. CONTRACTOR TO LIAISE WITH THIRD PARTY SUPPLIERS TO CONFIRM EXACT REQUIREMENTS.

CONTRACTOR TO ENSURE CONSISTENCY BETWEEN SIMILAR MATERIALS IS MAINTAINED. CONTRACTOR TO NOTIFY DESIGNER/ CLIENT OF ANY DISCREPANCIES, DIMENSIONAL INCONSISTENCIES OR THE NEED FOR CLARIFICATION PRIOR TO MANUFACTURE/ CONSTRUCTION.

CONTRACTOR TO CONFIRM STABILITY AND FEASIBILITY OF ALL UNITS/ COMPONENTS PRIOR TO MANUFACTURE.

IF IN DOUBT OF SUPPLY RESPONSIBILITY ALLOW FOR BY SHOPFITTER AND SEEK CLARIFICATION.

FOR FINISHES SPECIFICATION REFER TO FINISHES SCHEDULE.

DESIGNER/CLIENT TO APPROVE ALL CONTRACTORS DETAILED DRAWINGS AND SET OUT PRIOR TO CONSTRUCTION.

CONSTRUCTION SHALL BE OF CONTRACT QUALITY. ANY COST VARIATIONS MUST BE APPROVED BY CLIENT PRIOR TO EXECUTION BY SHOPFITTER.

NON APPROVED COST VARIATIONS WILL NOT BE MET.

ANY AS BUILT DRAWING REQUIREMENT IS TO BE MET BY MAIN CONTRACTOR.

ALL PIPES, CONDUITS AND REFRIGERATION CONDENSATE PIPES SHOULD BE CONCEALED OUT OF CUSTOMER SITE AND SHOULD BE CHASED IN WALLS, FLOORS, PLINTHS OR CEILINGS AND COMPLY WITH ALL REQUIRED STANDARDS.

WHERE FITTINGS ARE BUTT JOINED TOGETHER, THEY MUST BE SEALED TO ELIMINATE ANY CAVITIES OR CREVICES. ALTERNATIVELY A CLEAR SPACE OF AT LEAST 75MM IS TO BE PROVIDED BETWEEN FITTINGS.

SHOPFITTER TO PROVIDE APPROPRIATE & APPROVED CUTOUTS IN BENCHING AND FIXTURES AS REQUIRED TO ALLOW FOR CABLE ACCESS.

ALL FITTINGS, MECHANISMS & EQUIPMENT SHALL BE INSTALLED AS PER MANUFACTURERS RECOMMENDATIONS & INSTRUCTIONS.

SHOPFITTER SHALL REQUEST TO BE FREE ISSUED WITH EQUIPMENT SUCH AS POS EQUIPMENT ETC TO ENSURE FIXTURES ARE MANUFACTURED TO SUIT.

UNLESS NOTED OTHERWISE ALL FIXINGS ARE TO BE CONCEALED. CONTRACTOR TO ENSURE SAFETY, STABILITY AND SUITABILITY OF ALL CONSTRUCTION AND FIXINGS.

GENERAL BCA COMPLIANCE

ALL WORK TO BE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA (BCA), ALL RELEVANT AUSTRALIAN STANDARDS, THE CODE FOR THE FITOUT OF FOOD PREMISES, STATUTORY REGULATIONS, LOCAL AUTHORITY REQUIREMENTS AND ALL CONDITIONS OF COUNCIL'S OR PCA'S DEVELOPMENT/PLANNING CONSENT AND THE CONDITIONS OF THE CONSTRUCTION CERTIFICATE/BUILDING PERMIT.

ACCESS FOR PEOPLE WITH DISABILITIES TO BE IN ACCORDANCE WITH BCA CLAUSE PART D3 AND AS1428.1

ALL WORK TO COMPLY WITH BCA PART C1 FIRE RESISTANCE AND STABILITY. FIRE INDICES OF MATERIALS, LININGS AND SURFACE FINISHES TO COMPLY WITH SPECIFICATIONS C1.10 AND C1.10A OF THE BUILDING CODE OF AUSTRALIA. AT COMPLETION OF THE PROJECT CERTIFICATES ARE TO BE SUBMITTED BY THE CONTRACTOR DETAILING COMPLIANCE WITH THIS SPECIFICATION.

OPENINGS IN FLOORS, SHAFTS, OPENINGS FOR SERVICE INSTALLATIONS, AND CONSTRUCTION JOINTS WILL BE PROTECTED IN ACCORDANCE WITH C3 OF THE BCA. ALL FLOOR PENETRATIONS TO BE TREATED IN ACCORDANCE WITH CLAUSE C3.15 OF THE BUILDING CODE OF AUSTRALIA IN ORDER TO MAINTAIN THE FIRE RESISTANCE LEVEL OF THE EXISTING FLOOR. ALL OPENINGS TO BE VERMIN PROOF.

THE PROVISIONS FOR EGRESS WILL COMPLY WITH PART D1 OF THE BCA. ALL REQUIRED EXIT DOORS WILL HAVE AN UNOBSTRUCTED HEIGHT OF 1,980MM AND AN UNOBSTRUCTED WIDTH OF 800MM IN ACCORDANCE WITH CLAUSE D1.6 OF THE BCA. THE UNOBSTRUCTED WIDTH IN THE REQUIRED EXISTS AND IN THE PATHS OF TRAVEL TO THE REQUIRED EXISTS, EXCEPT FOR DOORWAYS, WILL BE NOT LESS THAN 1M.

ALL ELECTRICITY/DISTRIBUTION BOARDS, OR CENTRAL, TELECOMMUNICATION DISTRIBUTION BOARDS LOCATED IN THE PATHS OF TRAVEL, WILL BE ENCLOSED IN NON-COMBUSTIBLE CONSTRUCTION OR A FIRE PROTECTIVE COVERING, WITH DOORS PROVIDED WITH SMOKE SEALS IN ACCORDANCE WITH CLAUSE D2.7 OF THE BCA.

REQUIRED EXIT DOORS WILL BE READILY OPENABLE WITHOUT A KEY FROM THE SIDE THAT FACES A PERSON SEEKING EGRESS, BY A SINGLE HANDED DOWNWARD ACTION ON A SINGLE DEVICE WHICH IS LOCATED BETWEEN 900MM AND 1.2M ABOVE THE FLOOR, IN ACCORDANCE WITH CLAUSE D2.21 OF THE BCA. SPRINKLER LOCATIONS TO BE ALTERED TO SUIT THE NEW DESIGN AS REQUIRED IN ACCORDANCE WITH BCA CLAUSE E1.5

SNOKE HAZARD MANAGEMENT SYSTEMS TO BE ALTERED TO SUIT THE NEW DESIGN AS REQUIRED IN ACCORDANCE WITH BCA CLAUSE E2.2. AT THE COMPLETION OF THE BUILDING PROJECT, CERTIFICATES CERTIFYING THAT ALL FIRE SAFETY MEASURES HAVE BEEN DESIGNED AND INSTALLED IN ACCORDANCE WITH THE REQUIRED STANDARDS TO BE PROVIDED BY SUITABLE QUALIFIED PERSONS.

EMERGENCY LIGHTING TO BE PROVIDED IN ACCORDANCE WITH CLAUSES E4.2 AND E4.4 OF THE BCA AS AS2293.1 - 2005.

EXIT SIGNS AND EMERGENCY LIGHTS TO BE PROVIDED IN ACCORDANCE WITH CLAUSES E4.5, E4.6 AND E4.8 OF THE BCA AND AS2293.1 - 2005. EWIS LOCATIONS ARE TO BE ALTERED TO SUIT THE DESIGN AS REQUIRED IN ACCORDANCE WITH BCA CLAUSE E4.9.

VENTILATION TO BE PROVIDED IN ACCORDANCE WITH PART F4 OF THE BCA AND AS1668.1-1998 AND AS1668.2-1991. ENERGY EFFICIENCY OF AIR CONDITIONING AND VENTILATION TO BE IN ACCORDANCE WITH PART J5 OF THE BCA. ARTIFICIAL LIGHT AND ENERGY EFFICIENCY TO BE PROVIDED IN ACCORDANCE WITH PART F4.4 AND SECTION J6 OF THE BCA.

HOT WATER SERVICE TO BE PROVIDED IN ACCORDANCE WITH SECTION J7.2 OF THE BCA.

BCA PART J COMPLIANCE REQUIREMENTS:

LIGHTING & EQUIPMENT

LOW VOLTAGE LIGHTING MUST HAVE ELECTRONIC CONTROL GEAR. MOTION SENSORS ON LIGHTING CIRCUITS TO STORE AND BACK OF HOUSE ROOMS. EMERGENCY AND EXIT LIGHTING CIRCUITS TO STORE AND BACK OF HOUSE ROOMS. ALL EQUIPMENT SPECIFIED MUST MEET MEPS REQUIREMENTS. ALL REFRIGERATION IS CERTIFIED WITH A MINIMUM 4 STAR ENERGY RATING. INSULATION REQUIRED TO HOT AND COLD FOOD CASES AND WATER HEATERS. ALL WHITE GOODS USED TO BE 4 STAR RATING OR HIGHER. TIMERS TO LIGHTING AND EQUIPMENT ALLOWING SWITCH-OFF AFTER TRADING HOURS. LCD TO BE SPECIFIED AS A SUBSTITUTE FOR PLASMA SCREENS. DIMMING SWITCHES ARE SPECIFIED FOR GENERAL LIGHTING WHERE POSSIBLE.

WATER USAGE

PLUMBING ITEMS TO ACHIEVE A HIGH WELS RATING
6 STAR FOR TAPS AND FLOW CONTROLLERS
4 STAR FOR DISHWASHING MACHINES.
4 STAR FOR LAVATORY EQUIPMENT. WATERLESS URINALS WHERE REQUIRED.
3 STAR SHOWERS
TRIGGER NOZZLES TO ALL WASH-DOWN EQUIPMENT.
AIR COOLED ICE MACHINE SUBSTITUTED FOR WATER COOLED WHERE POSSIBLE.
WATERLESS WOK COOKING SYSTEM SPECIFIED IF REQUIRED.

MATERIALS

GREEN FIRST LAMINEX PRODUCTS SOURCED.
FSC CERTIFIED TIMBER VENEERS OR TIMBER PRODUCTS SOURCED.
LOW VOC PRODUCTS (EG. PAINT) SOURCED.
MDF AND PARTICLE BOARD PRODUCTS MUST BE E0 RATED.
FIXTURES AND MATERIALS SOURCED AND USED TO MINIMISE WASTAGE.
HIGH DENSITY POLYETHYLENE MATERIALS SPECIFIED FOR WATER/WASTE PIPE AND CONDUIT.

WASTE & RECYCLING:

MATERIAL WASTAGE TO BE MINIMISED IN FITOUT BY SHOPFITTER/CONTRACTOR. LEFT-OVER FITOUT MATERIALS ARE TO BE RECYCLED BY SHOPFITTER/CONTRACTOR.

LIGHTING NOTES

LIGHTING LAYOUT TO TAKE PRECEDENCE OVER LOCATION OF OTHER SERVICES. ANY DISCREPANCIES TO BE BROUGHT TO THE ATTENTION OF PROTECH HOSPITALITY DESIGN BEFORE THE COMMENCEMENT OF SITE INSTALLATION.

SECURITY MONITOR EQUIPMENT & DEVICES TO BE DETERMINED BY CLIENT, ON SITE. SYSTEM TBA BY CLIENT & TO BE INSTALLED BY NOMINATED SECURITY CONTRACTOR.

PROVIDE CONCEALED FLUSH ACCESS PANELS AS REQUIRED. LOCATION AND DETAIL TO BE APPROVED BY LANDLORD.

CONTRACTOR TO ANGLE ALL LIGHT FITTINGS TOWARD WALL FIXTURES AS INDICATED ON LIGHTING CONSULTANTS PLAN PRIOR TO STORE OPENING.

SMOKE DETECTORS TO BE INSTALLED TO SUIT LIGHTING LAYOUT - BY CENTRE CONTRACTORS. SHOPFITTER TO COORDINATE CENTRE CONTRACTORS.

REFER TO LANDLORDS ENGINEERS DRAWINGS FOR MECHANICAL SERVICES.

REFER TO LANDLORDS FIRE SERVICES ENGINEER FOR SPRINKLER LAYOUT. FIRE PROTECTION SYSTEM TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA.

ALL MECHANICAL AND FIRE SERVICES WORKS TO BE INCLUDED IN CONTRACTORS SCOPE. SHOPFITTER TO COORDINATE CONTRACTORS.

ARTIFICIAL LIGHTING TO BE PROVIDED TO ALL ROOMS IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA

NEW SPEAKER SYSTEM TO BE INSTALLED IN ACCORDANCE WITH CLIENTS SPECIFICATION. BY MAIN CONTRACTOR.

CONTRACTOR TO CONFIRM HEIGHT OF CEILING TO TENANCY PRIOR TO CONSTRUCTION OF WORKS AND ADVISE CLIENT OF ANY DISCREPENCIES PRIOR TO CONSTRUCTION.



DRAWING TITLE: GENERAL NOTES 1

DRAWING NUMBER: CDC 02

STATUS: FOR CDC

REVISION: A

DRAWN BY: ET

CHECKED BY:

DWG DATE: 10/05/2019

SCALE: AS STATED

CLIENT: ROBYN HALL

PROJECT: TERRAZZA RESTAURANT

LOCATION: Shop R13, Restaurant Level,
Chatswood Place, 260
Victoria Avenue, Chatswood NSW
2067.

CLIENT SIGNATURE:

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ELECTRICAL NOTES

1. NECESSARY APPROVALS

OBTAIN ALL NECESSARY APPROVALS FOR THE WORKS PRIOR TO COMMENCEMENT AND PAY ALL FEES REQUIRED. ALLOW FOR AND COORDINATE STAGING OF THE WORKS, OUT OF NORMAL HOURS WORK AND POWER INTERRUPTIONS TO THE PROJECT.

2. ELECTRICAL SERVICES LAYOUT

ACCURACY OF SITE CONDITIONS SHALL BE DETERMINED VY SITE INSPECTION OR BY OTHER MEANS AS REQUIRED PRIOR TO TENDERING. ALL CONTRACTORS ARE REQUIRED TO CONTACT PROTECH HOSPITALITY DESIGN/CLIENT FOR VERBAL BRIEFING CLARIFICATIONS AND LIAISE WITH MAIN CONTRACTOR TO COORDINATE ANY SITE VISITS.

3. THE WORK

THE WORK TO BE CARRIED OUT COMPRISES THE SUPPLY, DELIVERY, INSTALLATION, TESTING, COMMISSIONING, WARRANTY AND MAINTENANCE OF THE ELECTRICAL SERVICES FOR THE PROJECT, ALONG WITH ALL MINOR INCIDENTAL WORK ASSOCIATED THERE WITH INCLUDING, BUT NOT LIMITED TO, THE FOLLOWING:

4. PERFORMANCE DESIGN CRITERIA

THE SYSTEM SHALL BE DESIGNED BASED ON THE FOLLOWING PARAMETERS:

4.1 MAXIMUM DEMAND

IN ACCORDANCE WITH THE AS3000.

4.2 VOLTAGE DROP

TO ANY POINT IN THE INSTALLATION LESS THAN 5%.
TO END OF SUBMAINS LESS THAN 3.5%.

4.3 SHORT CIRCUIT FAULT RATING

DISTRIBUTION SWITCHBOARD BUSBARS AS COMPUTED AT THE INCOMING TERMINATIONS AND LIMITED BY THE PROTECTION DEVICES ON THE MAIN SWITCHBOARD, BUT NOT LESS THAN 18KA RMS FOR 1 SEC. DISTRIBUTION SWITCHBOARD FINAL SUBCIRCUIT PROTECTION DEVICES SHALL BE SIZED TO WITHSTAND THE COMPUTED FAULT LEVEL AT THE RESPECTIVE SWITCHBOARD BUT SHALL BE NOT LESS THAN 6KA.

4.4 EMERGENCY AND EXIT LIGHTING

DESIGNED AND INSTALLED IN ACCORDANCE WITH AS2293.1 AND MAINTAINED IN ACCORDANCE WIH AS2293.2.

4.5 LIGHTING

STANDARDS: AS1680.1, AS1680.2.0, AS1680.2.1 MINIMUM LLF:0.7 GENERALLY (TRIPHOSPHOR LAMPS)
ALL WORKS SHALL COMPLY WITH THE REGULATIONS AND REQUIREMENTS OF AT LEAST THE FOLLOWING AUTHORITIES AND ANY OTHERS HAVING JURISDICTION OVER THE WORKS:
- METROPOLITAN FIRE BRIGADE.
- RELEVANT BUILDING SURVEYOR.
- ELECTRICITY SUPPLY AUTHORITIES.
- ACA.

4.6 LIGHTING FINAL SUB-CIRCUITS

TOTAL LOAD PER FINAL SUB-CIRCUIT PROTECTED BY 20A CIRCUIT BREAKER & 2.5MM + E CAB;OMG SJA;; BE 3000VA PR AS DETERMINED BY VOLTAGE DROP CALCULATION.
TOTAL LOAD PER FINAL SUB-CIRCUIT PROTECTED BY 16A CORCIOT BREALER & 2.5MM + E CABLING SHALL BE 2500VA OR AS DETERMINED BY VOLTAGE DROP CALCULATION. DIMMERS SHALL BE SIZED TO ACCOMMODATE LUMINAIRE LOADS.

4.7 DEMOLITION, TEMPORARY AND AFTER-HOURS WORKS

WHERE THE WORKS, INCLUDING AREAS ADJACENT THE MAIN WORK AREAS, REQUIRE ALTERATIONS TO EXISTING WIRING, SWITCHBOARDS, COMMUNICATIONS FRAMES, ETC. IN A MATTER SUCH THAT THE EXISTING WIRING AND CIRCUITS ARE SATISFACTORY IN EVERY PARTICULAR.

EXISTING WIRING, CONDUITS, FITTINGS, EQUIPMENT, APPARATUS AND THE LIKE IF ENCOUNTERED, OBSTRUCTED, OR DAMAGED IN THE COURSE OF THE WORK SHALL BE DEALT WITH AS FOLLOWS:

(A) IF TO REMAIN: REPAIR, DIVERT, RELOCATE AS REQUIRED TO ACHIEVE AND EQUIVALENT INSTALLATION AS EXISTING.
(B) IF TO BE ABANDONED: UNLESS SPECIFIED OTHERWISE, DISCONNECT ELECTRICALLY AND MAKE SAFE, DISMANTLE AND REMOVE IN A NEAT WORKMANLIKE MANNER, CONSISTENT WITH MINIMISING DAMAGE TO SURFACES WHICH WOULD NEED TO BE MADE GOOD.

IN EITHER CASE, TO SATISFY THE AUTHORITIES CONCERNED AND TO APPROVAL AND WITHOUT COST VARIATION TO THE CONTRACT.

4.8 EXIT & EMERGENCY LIGHTING

REFER TO ELECTRICAL SUB CONTRACTORS DRAWINGS.

4.9 SWITCHING

THE CONTRACTOR IS REQUIRED TO SUBMIT SCHEMATICS TO THE ARCHITECT FOR REVIEW AND APPROVAL BASED ON THE FOLLOWING DESIGN PARAMETERS.

(A) ALL FITTINGS ARE TO BE SWITCHED/DIMMED VIA LIKE TYPES I.E. ALL A'S, ALL B'S, SWITCHING SYSTEM.
(B) TRAINING TO BE PROVIDED TO CLIENTS STAFF IN THE OPERATION OF THE SWITCHING SYSTEM.
(C) SWITCHING PLATES TO BE LOCATED AS SHOWN ON THE PLANS. PLATES TO BE SUBMITTED FOR APPROVAL AND SHOULD BE SILVER IN COLOUR UNLESS OTHERWISE STATED ON ARCHITECTURAL DRAWINGS.

5. BUILDING PENETRATIONS

SEAL ALL PENETRATIONS TO BCA C3.15 AND AS3000 REQUIREMENTS.

6. SAMPLES

SUBMIT SAMPLES OF ALL LUMINAIRES, SWITCHES, DIMMING PLATES, POWER OUTLETS ETC. FOR APPROVAL BY THE ARCHITECT AND CLIENT PRIOR TO ORDERING AND INSTALLATION,

7. REDUNDANT LUMINARIES & EQUIPMENT

REDUNDANT LUMINAIRES & EQUIPMENT SHALL BE RETURNED TO CLIENT UNLESS NOTED OTHERWISE. REMOVE REDUNDANT WIRING CAUSED BY ALTERATIONS TO MALL AREAS.

8. EQUIPMENT

ALL EQUIPMENT SHALL BE NEW UNLESS STATED OTHERWISE. ALL WORK TIMES AND ACCESS SHALL BE COORDINATED WITH THE ARCHITECT AND THE CONSTRUCTION MANAGER.

9. OUTLETS

ALLOW FOR MOVEMENT OF THE OUTLETS UP TO 2 METRES PRIOR TO INSTALLATION, WITHOUT COST VARIATION.

10. FLOOR CHASING, DRILLING ETC.

FLOOR CHASING, DRILLING, ETC. SHALL BE CARRIED OUT IN 'OUT OF NORMAL' HOURS TO APPROVAL.

11. RE-COMMISSIONING

RE-COMMISSION ALL ELECTRICAL SERVICES & DEMONSTRATE SATISFACTORY PERFORMANCE TO APPROVAL. PROVIDE MAINTENANCE AND WARRANTY FO RTHE DEFECTS LIABILITY PERIOD SET OUT IN THE CONTRACT.

12. MANUALS AND "AS INSTALLED" DRAWINGS

3 BUSINESS DAYS BEFORE THE DATE OF PRACTICAL COMPLETION SUPPLY 4 COPIES OF OPERATING SERVICE AND MAINTENANCE MANUALS AND CAD DISK COPIES OF "AS INSTALLED" DRAWINGS. INFORMATION SHALL BE RECORDED GENERALLY IN ACCORDANCE WITH ARCHITECTS STANDARD REQUIREMENTS, MANUALS TO INCLUDE COLOURS COPIES OF ALL LUMINAIRES, LAMP REQUIREMENTS FOR ALL LUMINAIRES, EXCEPTED LAMP LIFE AND TRADE PRICE OF LAMP SPECIFIED. ORIGINAL COPIES OF DIMING MANUALS AND CONTROL PROGRAMS ARE REQUIRED.

13. ALTERNATIVE LUMINARIES/SWITCH PLATES

(A) NO ALTERNATIVES WILL BE ACCEPTED WITHOUT THE WRITTEN APPROVAL OF ARCHITECT. COMPANY SUBMITTING ALTERNATIVES FOR REVIEW MUST SUPPLY THE FOLLOWING INFORMATION OR FITTING MAY BE REJECTED WITHOUT REVIEW.
(B) CALCULATIONS OF FITTING BEING OFFERED INCLUDING CALCULATION OF LUMINAIRES IN THE GENERAL AREA THAT EFFECT THE OVERALL CALCULATION. © CALCULATIONS MUST BE PROVIDED/PERFORMED BY AN INDEPENDENT COMPANY WITH NO ASSOCIATION TO THE COMPANY SUBMITTING THE ALTERNATIVE FOR REVIEW OR THE MANUFACTURER OF THE FITTING BEING OFFERED.
(D) COMPANY OFFERING ALTERNATIVE MAY INCUR CHARGES FROM ARCHITECT AND/OR ENGINEER FOR THE REVIEW OF LUMINAIRES.
(F) ORIGINAL OR NOTORISED COPIES OF ALL RELEVANT APPROVALS MUST BE PROVIDED, I.E. IP RATING, C-TICK, PHOTOMETRICS, ETC.
(G) COST SAVINGS MUST BE INCLUDED WITH ANY ALTERNATIVE SUBMISSION INCLUDING UNIT RATE.

SHOULD YOU HAVE QUESTIONS IN RELATIONS OT THE ABOVE SPECIFICATION CONTRACT THE NOMINATED LIGHTING CONSULTANT.

14. ALL FITTINGS TO BE SUPPLIED AS SPECIFIED.

15. SWITCHBOARDS ARE TO BE INSTALLED IN ACCORDANCE WITH BCA-02.7

16. ALL DATA/PHONE CABLING TO BE COMPLETED TO THE AUSTRALIAN COMMUNICATIONS AND MEDIA AUTHORITY (ACMA) CABLING STANDARDS. AS/ ACIF S009"2001. ALL CABLING WORK MUST BE PERFORMED OR SUPERVISED BY A PERSON WITH THE APPROPRIATE CABLING PROVIDER REGISTRATION.
- THIS STANDARD APPLIES TO THE INSTALLATION AND MAINTENANCE OF FIXED OR CONCEALED CABLING OR EQUIPMENT THAT IS CONNECTED, OR IS CONNECTED AS FIXED OR CONCEALED CABLING.
- ALL CABLING IS TO BE CAT5 E MINIMUM, AND EACH PHONE AND DATA POINT IS TO BE PROVIDED WITH 4 PAIR.

JOINERY NOTES

ALL DIMENSIONS TAKEN FROM FFL (FINISHED FLOOR LEVEL). ALL FIXINGS TO OPEN SHELVES AND CUPBOARDS SHALL BE ALIGNED WITHIN JOINERY & CONCEALED FROM SIGHT IN FINISHED WORKS. VENEERS & LAMINATE FINISHES TO HAVE APPROPRIATE COMPENSATORY MATERIAL TO OTHER SIDE OF BOARD. SITE SPECIFIC DIMENSIONS TAKE PRECEDENCE OVER STANDARD DETAIL DRAWINGS.

EXTERNAL CARCASE

SHALL BE CONSTRUCTED OF 16MM THICK PRELAMINATED PARTICLE BOARD AS NOTED, UNLESS OTHERWISE SPECIFIED, ALL EXPOSED EDGES TO BE LAMINATED, COLOUR/FINISH AS NOMINATED.

INTERNAL CARCASE

SHALL BE CONSTRUCTED OF 16MM THICK PRELAMINATED PARTICLE BOARD UNLESS SPECIFIED OTHERWISE INCLUDING ALL INTERNAL SURFACES & EDGES UNLESS NOTED OTHERWISE, BACKS SHALL BE CONSTRCTED OF PRELAMINATED 6MM PARTICLE BOARD WHERE LOCATED AGAINST A PARTITION. CONSTRUCT EXPOSED BACKS OF 18MM PRELAMINATED PARTICLE BOARD.

DOORS TO CUPBOARD & DRAWER FRONTS

SHALL BE CONSTRUCTED OF 16MM THICK PRELIMAINATED BOARD FOR UNDER BENCH AND OVERHEAD CUPBOARDS.

TIMBER

REFER TO FINISHES SCHEDULE FOR TIMBER FINISHING DETAILS

SHELVES

SHALL BE CONSTRUCTED OF 18MM THICK PRELAMINATED PARTICLE BOARD UP TO 800MM WIDE SPAN UNLESS NOTED OTHERWISE. AREAS OVER 800MM WIDE SPAN TO HAVE 25MM THICK PRELAMINATED PARTICLE BOARD SHELVES.

BNECHTOPS - (BACK OF HOUSE AREAS)

TO BE 32MM THICK LAMINATE PARTICLE BOARD (HMR PARTICLE BOARD IN WET AREAS) WITH EDGE AS DETAILED , UNLESS NOTED OTHERWISE. LAMINATE JOINTS AS INDICATED ON PLAN. NO OTHER JOINTS WILL BE ACCEPTED WITHOUT PRIOR APPROVAL.

DRAWER LOCK (BACK OF HOUSE AREAS)

HAFELE SYMO 200 LOCKING SYSTEM, SINGLE SIDED CD CENTRAL LOCKING SYSTEM OR EQUIVALENT.

DRAWER RUNNERS (BACK OF HOUSE AREAS)

CONCEALED, METAL & FULLY EXTENSION TYPE RUNNERS TO SUIT SIZE & WEIGHT OF DRAWERS - 'HAFELE WVA' OR 'HETTICH QUADRO' OR SIMILAR APPROVED.

SHELF SUPPORT

HAFELE SHELF SUPPORTS CAT NO. 282.04.711 NICKEL PLATED FINISH.

GLAZING

GLAZING TO AS 1288.

HINGES

SHALL BE FULLY CONCEALED SELF CLOSING METAL HINGES WITH 90° OPENING - 'BLUM CLIP' OR 'HETTICH EUROMATT TOP SAFE' OR SIMILAR APPROVED.

HANDLES (BACK OF HOUSE AREAS)

CUPBOARD & DRAWER - HOWARD SILVERS 10MM DOOR PULL (128X10X35MM)
ORDER CODE: 054272 STAINLESS STEEL FINISH. CENTRED HORIZONTALLY 40MM FROM TOP EDGE ON DRAWERS. SET IN 40MM FROM TOP & SIDE EDGE OF CUPBOARDS.

DOOR CATCHES

CUPBOARDS - HAFELE TOUCH CATCH/AUTOMATIC SPRING CATCH OR EQUIVALENT CAT NO. 245.55.913 IN BRIGHT GALVANISED STEEL.

CABLE HOLES (BACK OF HOUSE AREAS)

CABLE HOLES TO BE 60MM WITH HAFELE CABLE CAP INSERT (CAT NO. 429.99.520)
COLOUR - LIGHT GREY POSITION AS INDICATED ON PLAN. CASH DRAWER PROPRIETRY DRAWER CONNECTED TO POS COMPUTER SUPPLIER TBC INSTALLED BY JOINER.

EQUIPMENT

ALL EQUIPMENT SHALL BE SUPPLIED BY CLIENT.

DEFINITIONS:

EQ= EQUIPMENT

FFL= FINISHED FLOOR LEVEL

FCL= FINISHED CEILING LEVEL



DRAWING TITLE: GENERAL NOTES 2

DRAWING NUMBER: CDC 03

STATUS: FOR CDC

REVISION: A

DRAWN BY: ET

CHECKED BY:

DWG DATE: 10/05/2019

SCALE: AS STATED

CLIENT: ROBYN HALL

PROJECT: TERRAZZA RESTAURANT

LOCATION: Shop R13, Restaurant Level,
Chatswood Place, 260
Victoria Avenue, Chatswood NSW
2067.

CLIENT SIGNATURE:

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DRAWING TITLE: LOCATION MAP

DRAWING NUMBER: **CDC 04**

STATUS: FOR CDC

REVISION: A

DRAWN BY: ET

CHECKED BY:

DWG DATE: 10/05/2019

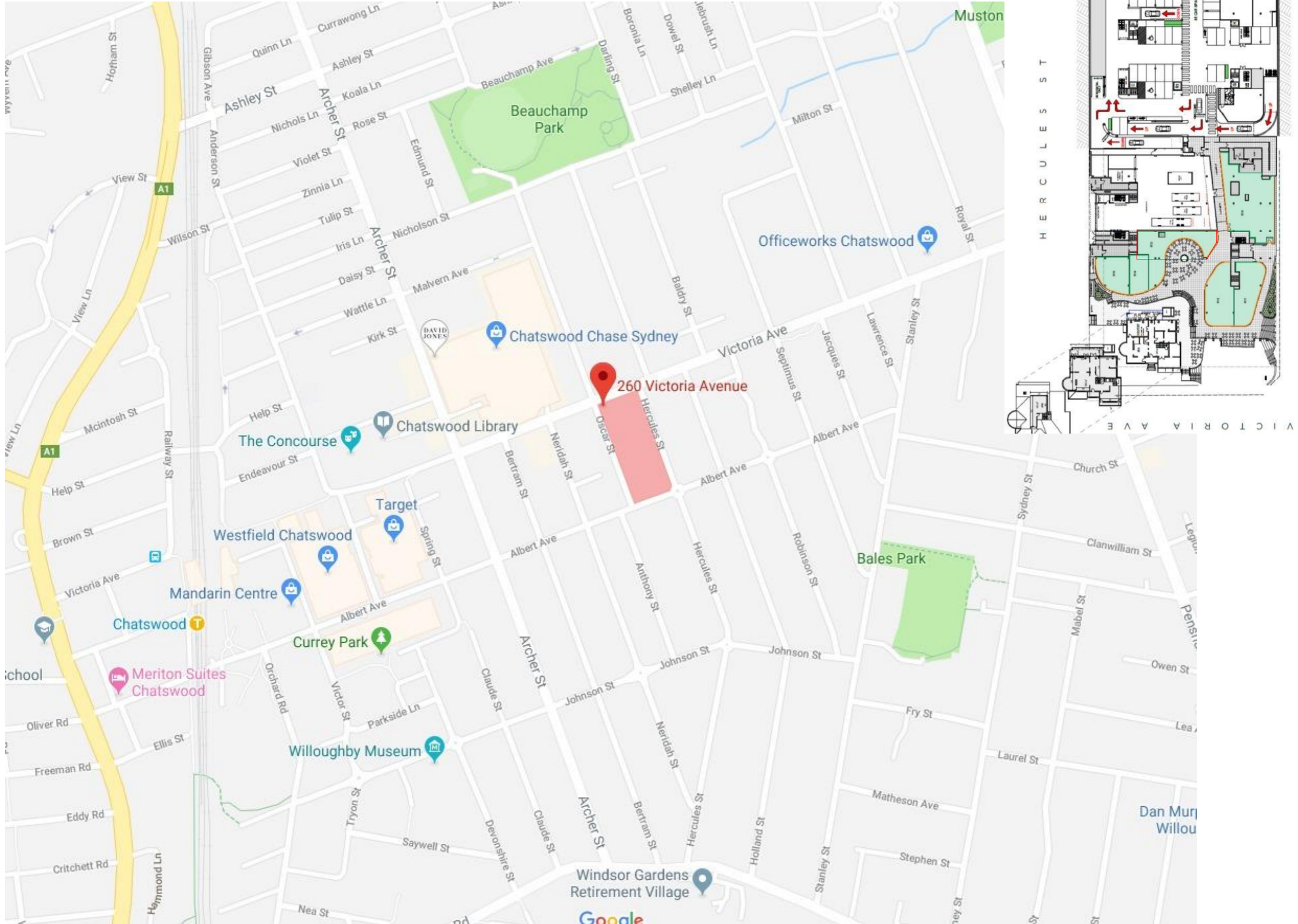
SCALE: AS STATED

CLIENT: ROBYN HALL

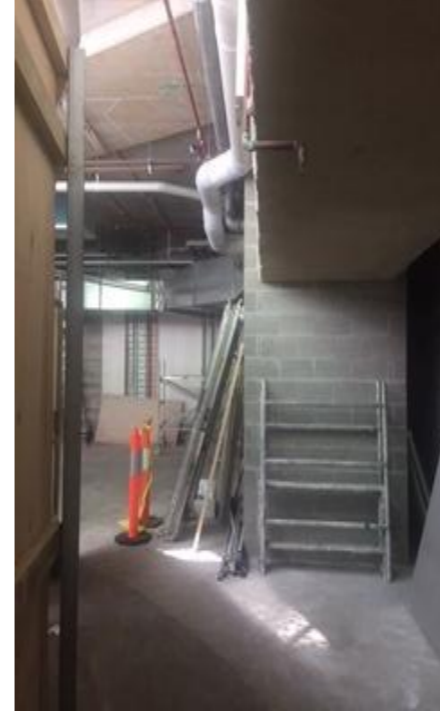
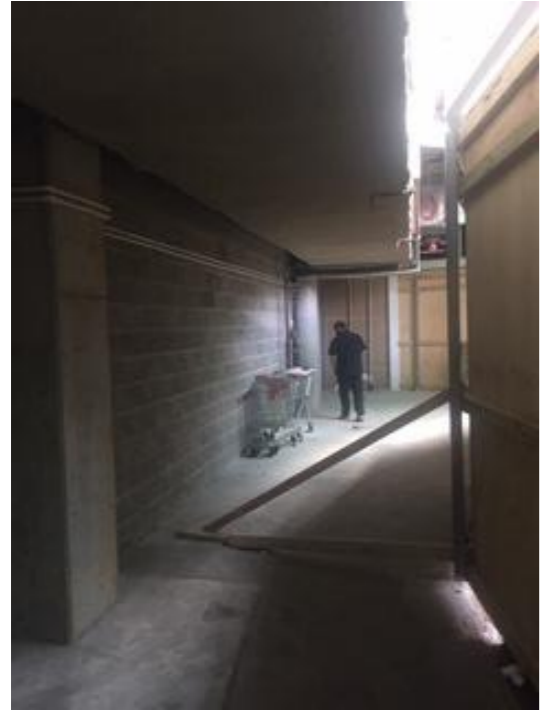
PROJECT: TERRAZZA RESTAURANT

LOCATION: Shop R13, Restaurant Level,
Chatswood Place, 260
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2067.

CLIENT SIGNATURE:



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DRAWING TITLE: **SITE PHOTOS**

DRAWING NUMBER: **CDC 05**

STATUS: **FOR CDC**

REVISION: **A**

DRAWN BY: **ET**

CHECKED BY:

DWG DATE: **10/05/2019**

SCALE: **AS STATED**

CLIENT: **ROBYN HALL**

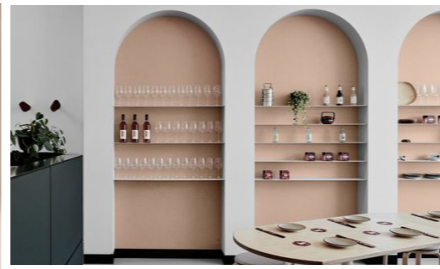
PROJECT: **TERRAZZA RESTAURANT**

LOCATION: **Shop R13, Restaurant Level,
Chatswood Place, 260
Victoria Avenue, Chatswood NSW
2067.**

CLIENT SIGNATURE:



FEATURE FLOOR TILE & GENERAL WALL FINISH



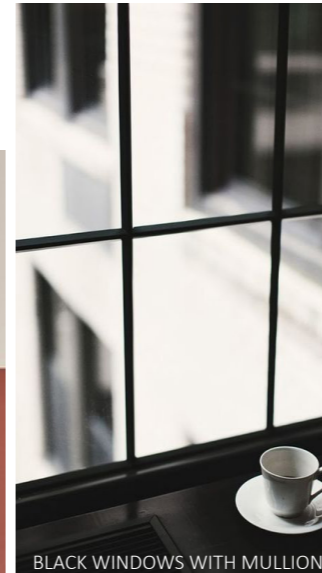
A CONTEMPORARY VISION ON A TRADITIONAL BASE PRESENTS SOPHISTICATION WITH A TOUCH OF PLAYFULNESS IN THIS MODERN DINING SCENE. A WELCOMING SPACE THAT OFFERS VERSATILITY, FUNCTIONALITY AND INTERACTIVITY. A THEATRICAL EXPERIENCE AWAITS IN THIS LIVELY AMBIANCE. A MUTED YET FRESH COLOUR SCHEME WITH NATURAL, TEXTURAL MATERIALS TO ADD DEPTH.



INSPIRATIONAL IMAGE; MATERIALITY



TWO TONE WALLS



BLACK WINDOWS WITH MULLIONS

DRAWING TITLE:
CONCEPT / MOOD BOARD

DRAWING NUMBER: **CDC 06**

STATUS: FOR CDC

REVISION: A

DRAWN BY: ET

CHECKED BY:

DWG DATE: 10/05/2019

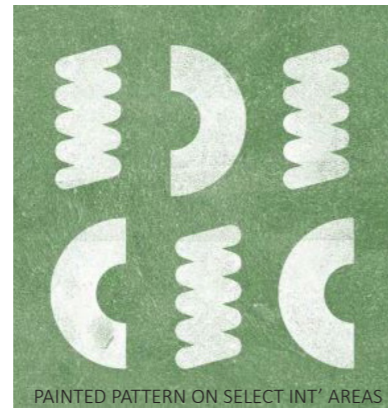
SCALE: AS STATED

CLIENT: ROBYN HALL

PROJECT: TERRAZZA RESTAURANT

LOCATION: Shop R13, Restaurant Level,
Chatswood Place, 260
Victoria Avenue, Chatswood NSW
2067.

CLIENT SIGNATURE:



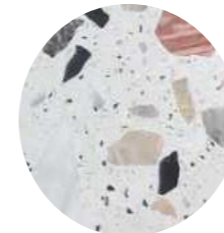
PAINTED PATTERN ON SELECT INT' AREAS



FEATURE PENDANT LIGHTS



CONCRETE EXT' COLUMN



BAR COUNTER- TERRAZZO



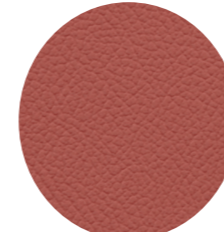
KITCHEN WALL TILE- 75X300



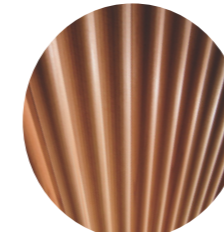
INTERIOR DINING CHAIR OPTION



EXTERNAL CNR WALL - TILE



BANQUETTE UPHOLSTERY- VINYL



BAR FACADE- TIMBER PANEL



DETAILS- BRASS ACCENTS



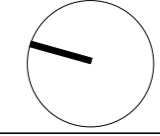
FOH FLOOR- HAVWOODS



FOH FEATURE FLOOR TILE

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CLASS	ROOF R VALUE
CONSTRUCTION TYPE	HEAT FLOW DIRECTION
WIND REGION	WALL R VALUE
CLIMATE ZONE	EXTERNAL GLAZING
	FLOOR R VALUE



ISSUE AMENDMENT	DATE
1 ISSUE FOR INFORMATION	07/03/19
2 ISSUE FOR INFORMATION	12/03/19

1. FURTHER SERVICES INFO ADDED

DRAWING TITLE: EXISTING / LEASE PLAN

DRAWING NUMBER: **CDC 07**

STATUS: FOR CDC

REVISION: A

DRAWN BY: ET

CHECKED BY:

DWG DATE: 10/05/2019

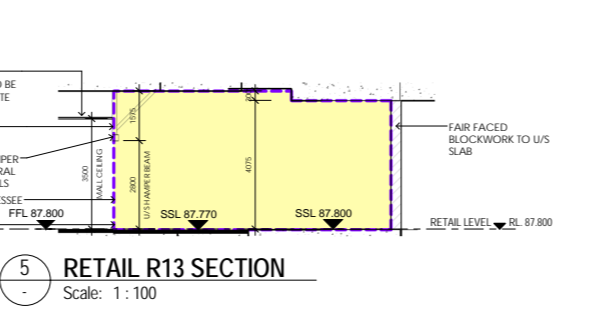
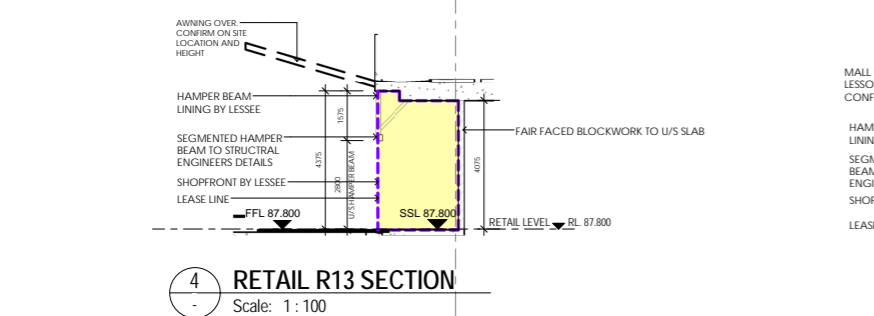
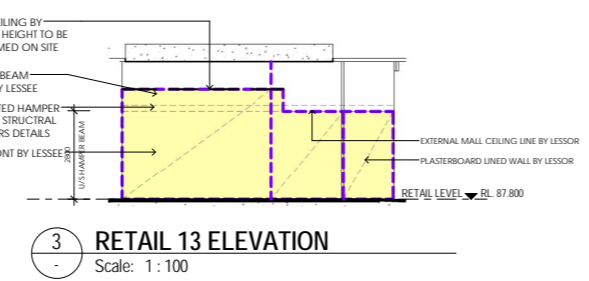
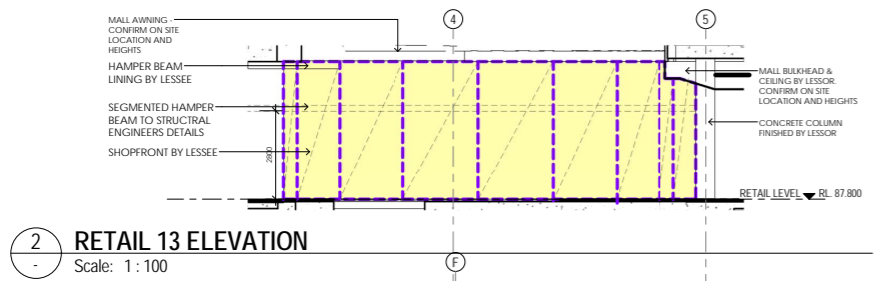
SCALE: AS STATED

CLIENT: ROBYN HALL

PROJECT: TERRAZZA RESTAURANT

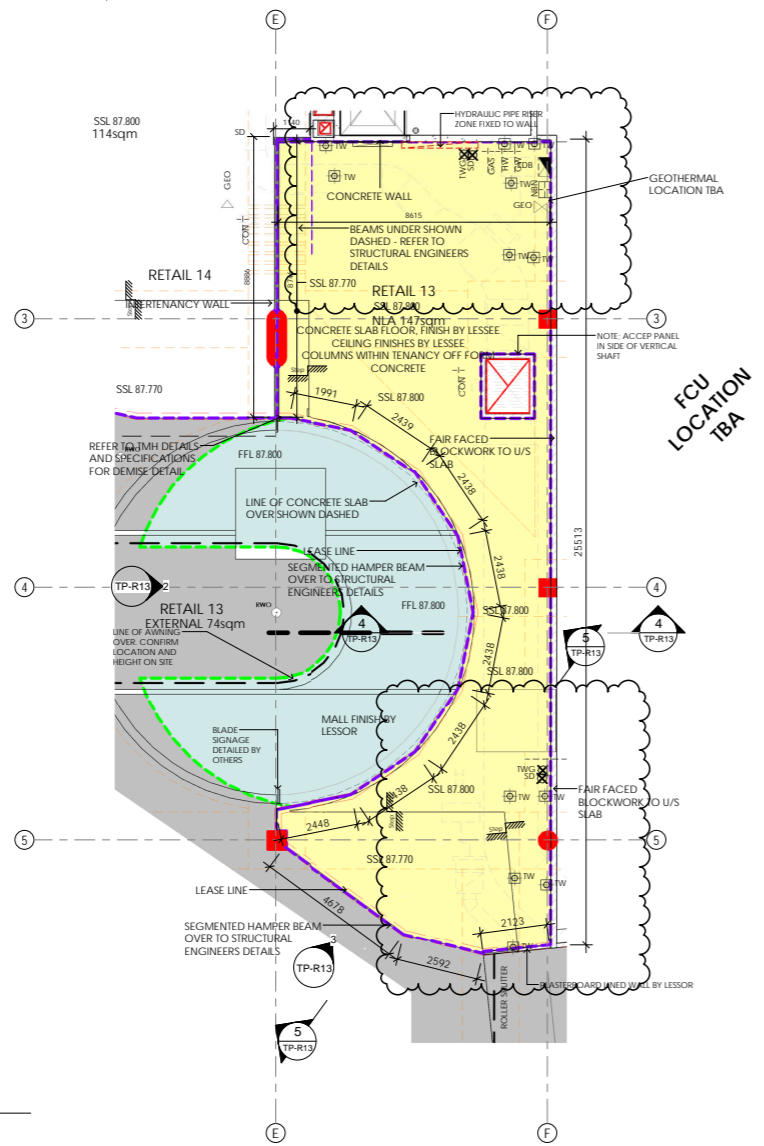
LOCATION: Shop R13, Restaurant Level, Chatswood Place, 260 Victoria Avenue, Chatswood NSW 2067.

CLIENT SIGNATURE:



BASE BUILD LEGEND

- ↓ CW COLD WATER POINT (TERMINATED AT HIGH LEVEL)
- ↓ HW HOT WATER POINT (TERMINATED AT HIGH LEVEL)
- ↓ GAS GAS POINT (TERMINATED AT HIGH LEVEL)
- ↓ C/WN CONDENSOR WATER PIPE LINE (TERMINATED AT HIGH LEVEL)
- NBN NBN CONNECTION POINT
- ⊗ GEO GEOTHERMAL CONNECTION POINT
- ⊗ EDB ELECTRICAL BOARD
- ⊗ TWG TRADE WASTE (GREASE)
- ⊗ SD SANITARY DRAINAGE
- ⊗ FW FLOOR WASTE
- ⊗ TD TUNDRISH
- ⊗ TW TRADE WASTE



NOTES:

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ALL STRUCTURE AND SERVICES IS TO BE CHECKED AND CONFIRMED ON SITE FOR ITS IMPLEMENTATION AND LOCATION.

CHECK AND VERIFY ALL DIMENSIONS AND RL'S ON SITE PRIOR TO COMMENCEMENTS OF WORKS.

ALL AREAS TO BE CHECKED AND VERIFIED ON SITE THROUGH FINAL SURVEY BY LESSEE.

ELEMENTS SHOWN HAVE BEEN DETERMINED FROM CONSULTANTS INFORMATION PROVIDED.

CONCEALED ELEMENTS TO BE DETERMINED IF AND WHEN FOUND ON SITE.

NO CORE HOLING OR CHASING WITHOUT APPROVAL OF LESSOR'S STRUCTURAL CONSULTANT.

ALL FITOUT SHALL COMPLY WITH THE CURRENT BUILDING CODE OF AUSTRALIA.

NO SHOPFRONT PROJECTIONS (OUTGO) IS PERMITTED UNLESS OTHERWISE STATED IN THE FITOUT GUIDELINES AND APPROVED BY THE LESSOR.

LESSEES SHOPFRONT MUST BE INDEPENDENTLY SUPPORTED FROM MAIN BUILDING STRUCTURE NOT LESSOR'S BULKHEAD.

ALLOW EMERGENCY LIGHTS AND EXIT SIGNS AS PER BCA REQUIREMENTS

ALL PIR/LIGHTWEIGHT INTER-TENANCY WALLS ARE NON LOAD BEARING. LESSEES EQUIPMENT AND RACKING TO BE SUPPORTED OFF THE FLOOR.

BEAMS UNDER SHOWN INDICATIVELY ONLY. REFER TO STRUCTURAL ENGINEERS DETAILS AND SITE LOCATIONS FOR ACCURATE STRUCTURAL POSITIONS. CONSULT WITH STRUCTURAL ENGINEER FOR PENETRATION LOCATION SUITABILITY AND SIGNOFF.

LEFFLER SIMES ARCHITECTS

7 Young St, Neutral Bay Sydney NSW 2089 AUSTRALIA
P: +61 2 9609 3344 F: +61 2 9609 3828 W: www.lefflersimes.com.au

Level 2, 18 Oliver Lane Melbourne Vic 3000 AUSTRALIA
P: +61 3 9654 6344 F: +61 3 9654 6244 E: sje@lefflersimes.com.au

ACN 001 043 992 ABN 39 001 043 992

PLATINO PROPERTIES

PROJECT
CHATSWOOD PLACE
36-50 HERCULES STREET
256-260 VICTORIA AVENUE
CHATSWOOD, NSW 2067

DRAWING
TENANCY PLAN - RETAIL R13

DATE	SCALE	DRAWN
06/20/18	1:100 @ A1 1:200 @ A3	RGG

PROJECT No.	DRAWING No.	ISSUE
4052	TP-R13	2

LEGEND

CODE	DESCRIPTION
F#	FINISHES TAG
FU#	FURNITURE TAG
EQ.#	EQUIPMENT TAG
SS	STAINLESS STEEL TAG
(Grey line)	EXISTING WALL TO REMAIN
(Blue hatched)	NEW SOLID FILLED WALL
(Blue outline)	NEW PARTIAL HEIGHT WALL SEE ELEVATIONS FOR HEIGHT
(Blue hatched with X)	NEW INSULATED COOL ROOM AND FREEZER PANEL (ICP)
(Yellow hatched)	EXISTING WALL TO BE DEMOLISHED

NOTES:

- REFER TO PARTITION PLAN FOR ALL WALL FINISHES.
- BUILDER TO ENSURE ALL RETAINED FINISHES AND SURFACES TO FLOORS, WALLS, AND CEILINGS INCLUDING COOL ROOM, SHOPFRONT, AND SHOPFRONT GLAZING TO BE MADE GOOD WITH ALL DAMAGE REPAIRED AND PROFESSIONALLY CLEANED TO LOOK AS NEW.
- BUILDER TO ENSURE ALL RETAINED ELECTRICAL EQUIPMENT, LIGHTING, AND PLUMBING FIXTURES TO BE SERVICED SO IN GOOD WORKING ORDER AND PROFESSIONALLY CLEANED.

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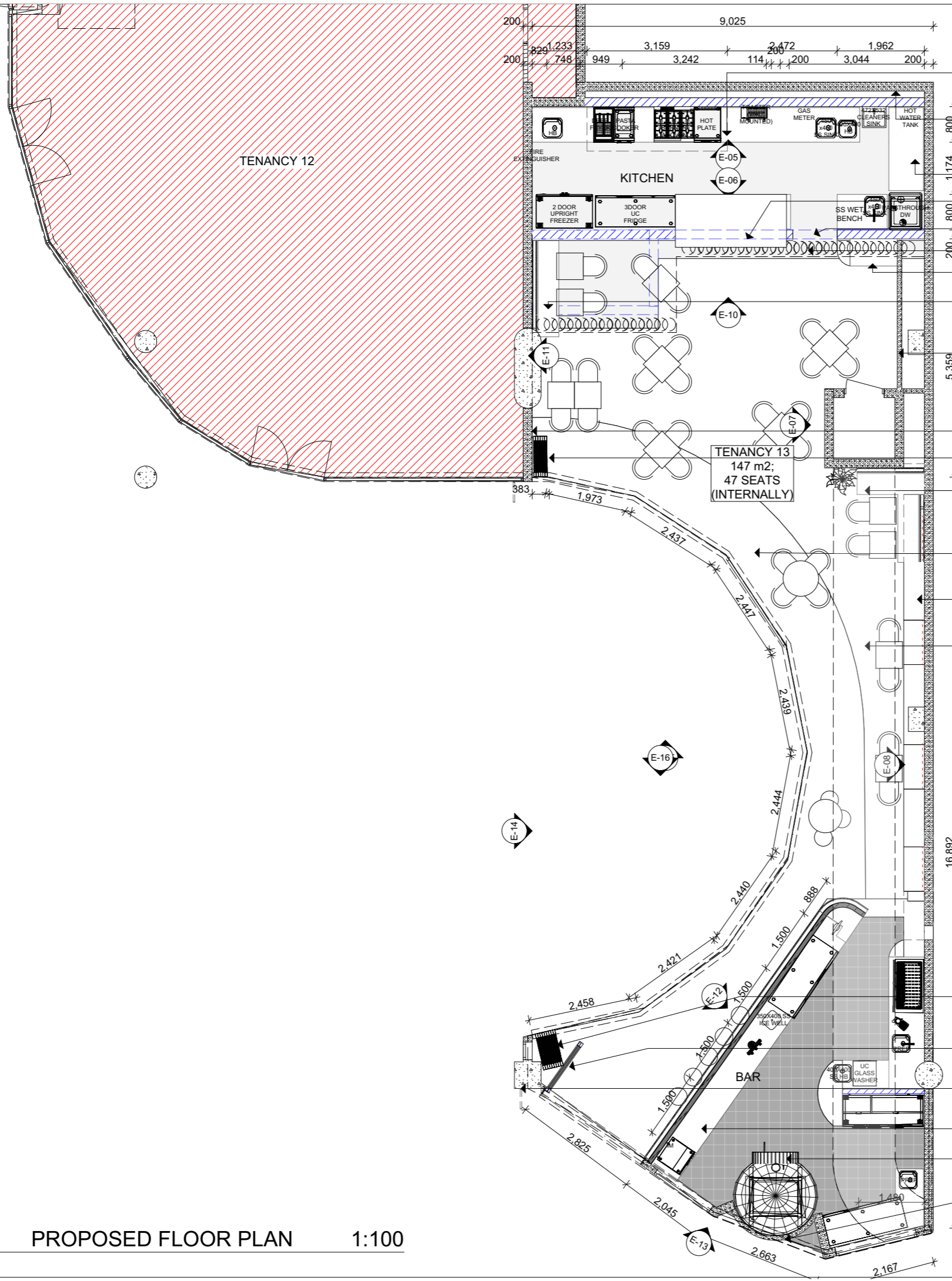
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INFORMATION ISSUE



PROPOSED EXHAUST HOOD 3800MM

PACK OUT REAR WALL TO CONCEAL EXISTING SERVICES

EXISTING EDB POSITION TBC. RELOCATION MAY BE REQ.

PASS THROUGH 2500MM WIDTH

KITCHEN ENTRANCE (NO DOOR), 1000MM OPENING

VM DISPLAY APPLIED ON BULKHEAD FACE

WAITERS STATION. SEE DETAIL 02

BANQUETTE SEAT. VINYL AND TILES. SEE FF&E FOR MATERIAL DETAILS

PAINTED GYPROCK WALL WITH HIDDEN SOFT CLOSE DOORS. GENERAL STORAGE CABINET INCL. STAFF LOCKERS, PRINTER, MODEM ETC

PROPOSED GYPROCK BOARD ON EXISTING WALL TO BE FINISHED WITH PAINT

PROPOSED BLACK FRAMED BI-FOLD DOORS

PROPOSED CORNER BANQUETTE SEAT. SEE FF&E FOR MATERIAL DETAILS

PROPOSED FEATURE BORDER TILES. TERA NOVA SE BEACH CLUB CINQUE TERRE 150X150X16MM. SEE FF&E

WALL STORAGE, BUILT IN.

PROPOSED ENGINEERED TIMBER FLOOR. HAVWOODS HW2130 STRIP OAK ALLEVARD CLICK SYSTEM. SEE FF&E

PROPOSED BLACK FRAMED BI-FOLD DOORS. TO BE DESIGNED BY SHOP FRONT MANUFACTURER.

PROPOSED BLACK FRAMED BI-FOLD DOORS TO BE DESIGNED BY SHOPFRONT MANUFACTURER.

PROPOSED BLADE SIGNAGE LOCATION

PIZZA PICK UP AREA

PROPOSED GAS HEATED PIZZA OVEN INTERGRATED INTO SHOP FRONT.

PROPOSED VISIBILITY OF PIZZA OVEN THROUGH CURVED GLAZING. SEE ELEVATION FOR MORE INFORMATION.








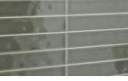





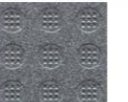


LEGEND



CODE	DESCRIPTION
F#	FINISHES TAG
FU#	FURNITURE TAG
EQ.#	EQUIPMENT TAG
SS	STAINLESS STEEL TAG
(Solid Grey)	EXISTING WALL TO REMAIN
(Blue Hatched)	NEW SOLID FILLED WALL
(Blue Outline)	NEW PARTIAL HEIGHT WALL SEE ELEVATIONS FOR HEIGHT
(Blue/Yellow Hatched)	NEW INSULATED COOL ROOM AND FREEZER PANEL (ICP)
(Yellow Hatched)	EXISTING WALL TO BE DEMOLISHED

NOTES:
1. REFER TO PARTITION PLAN FOR ALL WALL FINISHES.
2. BUILDER TO ENSURE ALL RETAINED FINISHES AND SURFACES TO FLOORS, WALLS, AND CEILINGS INCLUDING COOL ROOM, SHOPFRONT, AND SHOPFRONT GLAZING TO BE MADE GOOD WITH ALL DAMAGE REPAIRED AND PROFESSIONALLY CLEANED TO LOOK AS NEW.
3. BUILDER TO ENSURE ALL RETAINED ELECTRICAL EQUIPMENT, LIGHTING, AND PLUMBING FIXTURES TO BE SERVICED SO IN GOOD WORKING ORDER AND PROFESSIONALLY CLEANED.

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PROPOSED FLOOR PLAN 1:100

FINISHES SCHEDULE						
CODE	NAME	ITEM	MANUFACTURER	DESCRIPTION	LOCATION	IMAGE
WALLS						
W01	PAINT	WALL PAINT	DULUX	NATURAL WHITE PN1E1	FOH & BOH	
W02	PAINT	BULKHEAD PAINT	DULUX	NATURAL WHITE PN1E1	BOH	
W03	PAINT	BULKHEAD PAINT	DULUX	NATURAL WHITE PN1E1 ON S19D7 (W06) TO BE APPLIED BY COMMISSIONED ARTIST	FOH & BOH	
W04	PAINT	FEATURE WALL PAINT	DULUX	NATURAL WHITE PN1E1 ON S19C9 (W07) TO BE APPLIED BY COMMISSIONED ARTIST	FOH	
W05	PAINT	SKIRTING BOARD & LOWER WALL PAINT	DULUX	TEMPRESS A109. MATT FINISH.	FOH	
W06	PAINT	UNDER SIDE OF BULKEAD	DULUX	VARIEGATED FROND S19D7	FOH	
W07	PAINT	FRONT FACE OF BULKEAD	DULUX	GREEN OLIVE S19C9	FOH	
W08	TILES	WALL TILES EXTERIOR FAÇADE	EARP BROTHERS	MALAGA GREEN, CERAMIC WALL TILE. 100% UV STABLE, FIRE RESISTANT. VERTICAL	EXTERIOR	
W09	TILES	WALL TILES	SURFACE GALLERY	MATT WHITE, NON-RECTIFIED 75X300. VERTICAL STACKBOND.	KITCHEN/BAR BOH	
CEILING						
C01	PAINT	BULKHEAD PAINT	DULUX	NATURAL WHITE PN1E1	FOH & BOH	
JOINERY						
J01	TIMBER	BAR COUNTER FAÇADE	STACK PANEL	WAVE PANEL WAV PNL 81X26 RAW HEMLOCK	FOH	
J02	NATURAL STONE & CEMENT	BAR COUNTER	ALEXANDRIA TILES	FIBONACCI FIB918 - HONED. 3050 X 1250 X 20. NEEDS TO BE SEALED.	FOH	
J03	BRASS METAL	FLOOR JOIN, WAITERS STATION, BAR	TBC	POLISHED BRASS. SEE DETAILED DRAWING...	FOH	
FLOORING						
F01	TILES	FLOOR TILES	CLASSIC CERAMICS	TAURUS INDUSTRIAL ANTHRACITE 211, 200X200 (P5). OR SIMILAR FLOOR TILE	BOH	
F02	TILES	FLOOR TILES, BORDER	TERA NOVA	SE BEACH CLUB CINQUE TERRE 150X150X16MM	FOH	
F03	ENGINEERED TIMBER	FLOOR	HAVWOODS	HW2130. PUREPLANK. ALLEVARD. MATT LACQUERED. 180X14X2200	FOH	

FURNITURE SCHEDULE									
CODE	QTY	ITEM	MODEL	MANUFACTURER	SUPPLIER	INSTALLER	DESCRIPTION	LOCATION	IMAGE
FU01	1	PLANTER & STAND	SKU: 4419323 3. COLOUR CODE: 023	UNKNOWN	URBAN OUTFITTERS	N/A	NOA 12" METAL PLANTER & STAND. DIMENSIONS: 12"DIA X 16"H	FOH NEXT TO BANQUETTE SEAT	
FU02	TBD	THROW PILLOW	SKU: 5230826 9 COLOUR CODE: 095	DENY DESIGNS	URBAN OUTFITTERS	N/A	GEOMETRIC ABSTRACT PILLOW. INDDOR/OUTDOOR	TBD. BANQUETTES?	
FU03	40	CHAIRS (INTERIOR)		TBD					
FU04	60	CHAIRS (EXTERIOR)		TBD					
FU05	16	TABLES (INTERIOR)		TBD					
FU06	16	TABLES (EXTERIOR)		TBD					
FU07	13	STOOLS (INTERIOR)		TBD					
FU08	3	HIGH TABLES (INTERIOR)		TBD					

Kreativ Design

DRAWING TITLE:
FINISHES AND FURNITURE SCHEDULE

DRAWING NUMBER: **CDC 11**

STATUS: FOR CDC

REVISION: A

DRAWN BY: ET

CHECKED BY:

DWG DATE: 10/05/2019

SCALE: AS STATED






CLIENT: ROBYN HALL

PROJECT: TERRAZZA RESTAURANT

LOCATION: Shop R13, Restaurant Level, Chatswood Place, 260 Victoria Avenue, Chatswood NSW 2067.

CLIENT SIGNATURE:

LEGEND

CODE	DESCRIPTION
F#	FINISHES TAG
FU#	FURNITURE TAG
EQ.#	EQUIPMENT TAG
SS	STAINLESS STEEL TAG
	EXISTING WALL TO REMAIN
	NEW SOLID FILLED WALL
	NEW PARTIAL HEIGHT WALL. SEE ELEVATIONS FOR HEIGHT
	NEW INSULATED COOL ROOM AND FREEZER PANEL (ICP)
	EXISTING WALL TO BE DEMOLISHED

NOTES:
1. REFER TO PARTITION PLAN FOR ALL WALL FINISHES.
2. BUILDER TO ENSURE ALL RETAINED FINISHES AND SURFACES TO FLOORS, WALLS, AND CEILINGS INCLUDING COOL ROOM, SHOPFRONT, AND SHOPFRONT GLAZING TO BE MADE GOOD WITH ALL DAMAGE REPAIRED AND PROFESSIONALLY CLEANED TO LOOK AS NEW.
3. BUILDER TO ENSURE ALL RETAINED ELECTRICAL EQUIPMENT, LIGHTING, AND PLUMBING FIXTURES TO BE SERVICED SO IN GOOD WORKING ORDER AND PROFESSIONALLY CLEANED.

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DRAWING TITLE:
**EQUIPMENT PLAN (KITCHEN) /
EQUIPMENT SCHEDULE**

DRAWING NUMBER: **CDC 12**

STATUS: FOR CDC

REVISION: A

DRAWN BY: ET

CHECKED BY:

DWG DATE: 10/05/2019

SCALE: AS STATED

CLIENT: ROBYN HALL

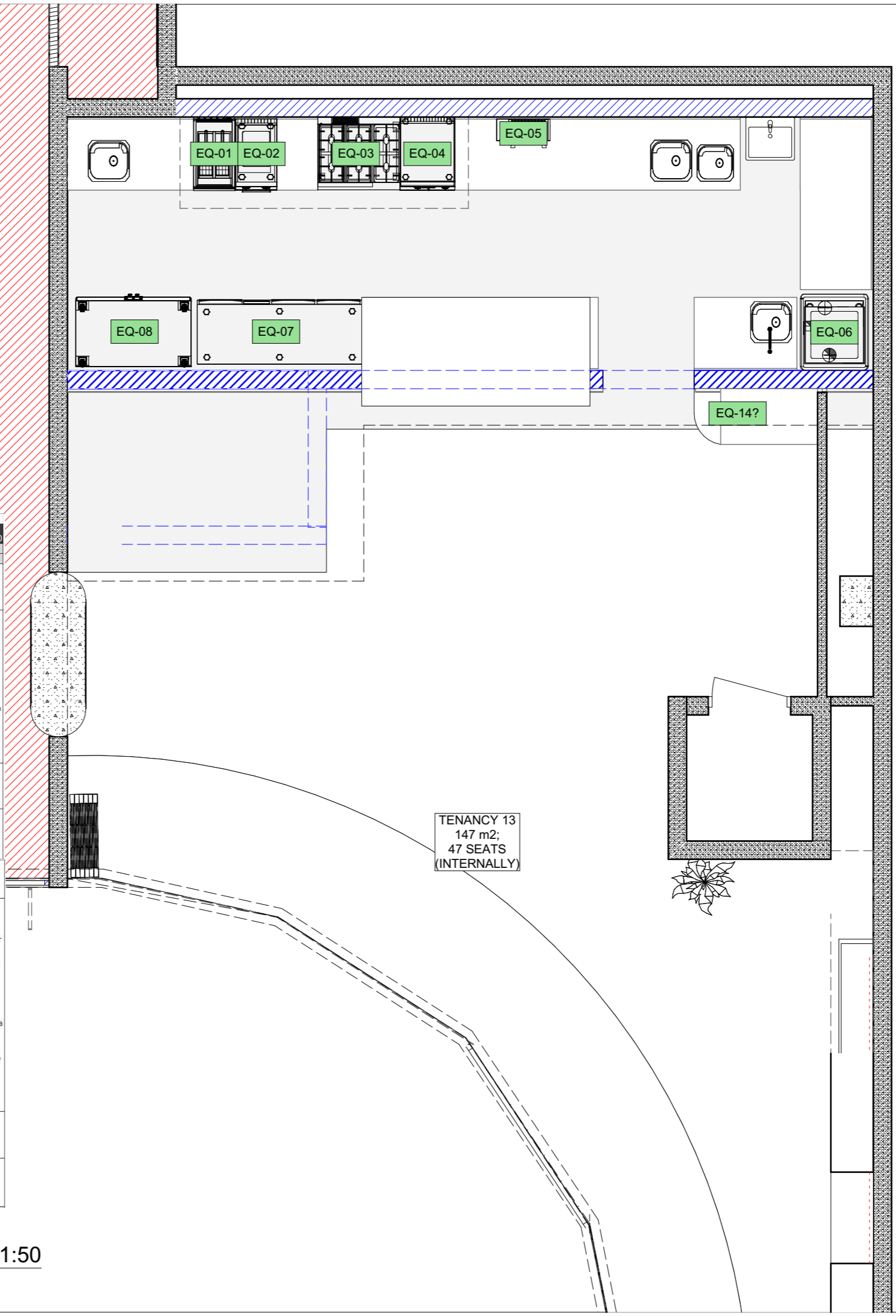
PROJECT: TERRAZZA RESTAURANT

LOCATION: Shop R13, Restaurant Level,
Chatswood Place, 260
Victoria Avenue, Chatswood NSW
2067.

CLIENT SIGNATURE:

TENANCY 12

EQUIPMENT SCHEDULE														
CODE	QTY	ITEM	MODEL	MANUFACTURER	SUPPLIER	INSTALLER	SIZE			IMAGE	ELEC Specs	GAS MJ/hr	Drain/Tundish	Water(H/C)
							WIDTH	DEPTH	HEIGHT					
KITCHEN														
EQ-01	1	DEEP FRYER	FN8226G	WALDORF	CLIENT		450	805	915		90MJ/HR, 25kw TOTAL			
EQ-02	1	PASTA COOKER	PC8140G	WALDORF	CLIENT		450	805	915		47MJ/HR, 13kw Natural Gas	DRAIN: YES. Drain must be connected to system suitable for boiling water discharge 1" BSP Male connection 118mm from left hand side, 470mm from rear, and 165mm from floor.	COLD WATER: YES. Connection 50mm from left handside, 556mm from rear and 140mm from floor R1/2 (BSP) male	
EQ-03	1	6 BURNER W/OVEN	RN8610G	WALDORF	CLIENT		900	805	915		198 MJ/hr, 55kw			
EQ-04	1	HOT PLATE	RN8406G-LS	WALDORF	CLIENT		600	805	915		40 MJ/hr, 11kw			
EQ-05	1	TOASTER	GMX815	ROBAND	CLIENT		585	315	315		3360 watts, 14.6 AMPS			
EQ-06	1	PASSTHROUGH DW	M2	WASHTECH	CLIENT		705	720	1530		Single phase 240V 50Hz 15A	DRAIN: YES. Hose supplied for 38mm open standpipe 750 high or connection to sink trap	HOT WATER: YES. Temperatur e 65°C Connection 3/4" male hose supplied Pressure 200-350kPa Flow 15 litres per min Quality Potable & soft Backflow Prevention	
EQ-07	1	3 DOOR FRIDGE	C3S - 1800	STREAMLINE	CLIENT		1800	700	900		10 AMP			
EQ-08	1	2 DOOR UPRIGHT FRIDGE	KR45-2	TURBO AIR	PROTECH		1260	850	1926		240V 50HZ 1 PH, 5.3 AMPS			




TENANCY 13
147 m2;
47 SEATS
(INTERNALLY)

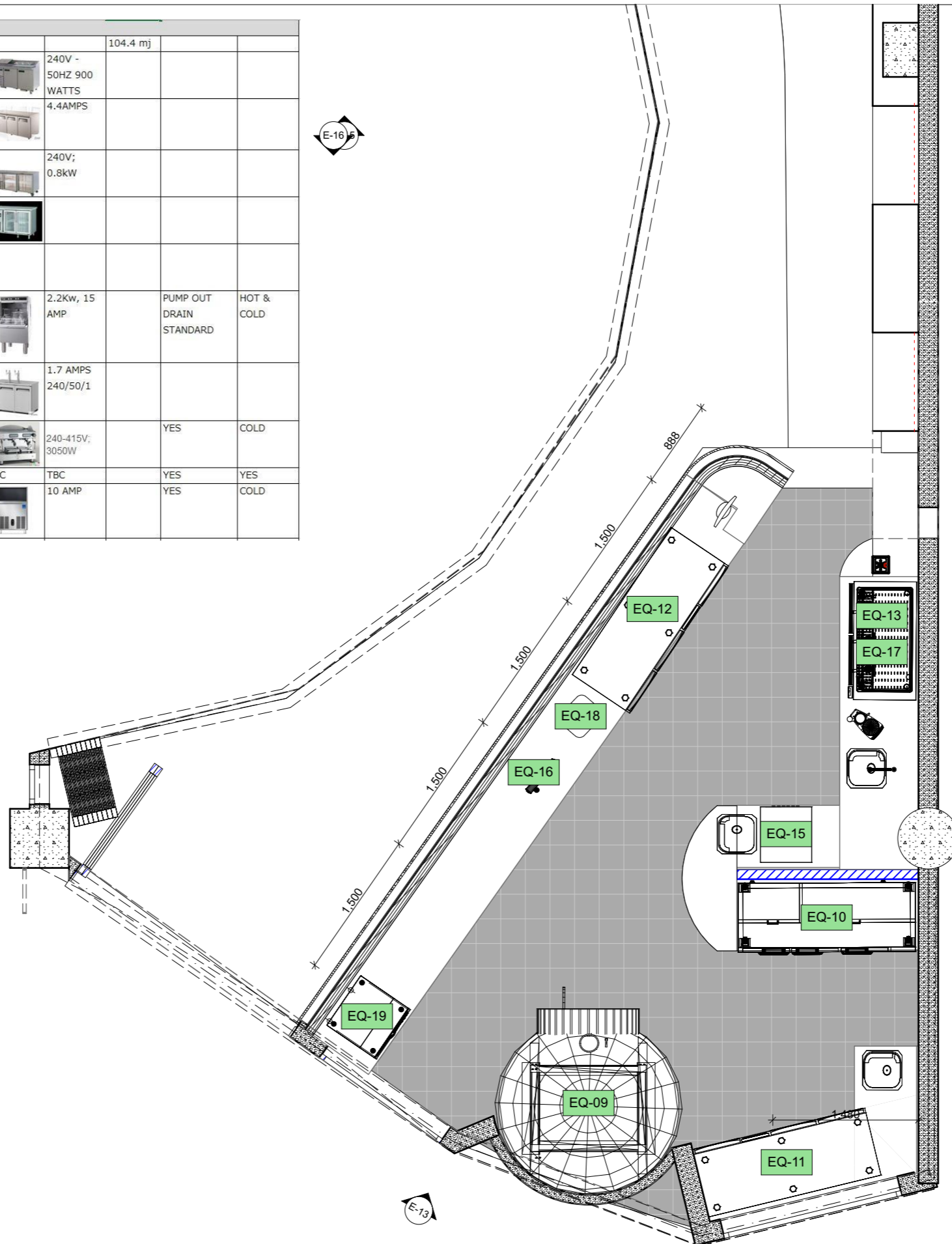
LEGEND

CODE	DESCRIPTION
F#	FINISHES TAG
FU#	FURNITURE TAG
EQ-#	EQUIPMENT TAG
SS	STAINLESS STEEL TAG
(Solid line)	EXISTING WALL TO REMAIN
(Blue hatched)	NEW SOLID FILLED WALL
(Blue dashed)	NEW PARTIAL HEIGHT WALL SEE ELEVATIONS FOR HEIGHT
(Blue wavy)	NEW INSULATED COOL ROOM AND FREEZER PANEL (ICP)
(Yellow hatched)	EXISTING WALL TO BE DEMOLISHED

NOTES:
1. REFER TO PARTITION PLAN FOR ALL WALL FINISHES.
2. BUILDER TO ENSURE ALL RETAINED FINISHES AND SURFACES TO FLOORS, WALLS, AND CEILINGS INCLUDING COOL ROOM, SHOPFRONT, AND SHOPFRONT GLAZING TO BE MADE GOOD WITH ALL DAMAGE REPAIRED AND PROFESSIONALLY CLEANED TO LOOK AS NEW.
3. BUILDER TO ENSURE ALL RETAINED ELECTRICAL EQUIPMENT, LIGHTING, AND PLUMBING FIXTURES TO BE SERVICED SO IN GOOD WORKING ORDER AND PROFESSIONALLY CLEANED.

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BAR/ PIZZA AREA													
EQ-09	1	PIZZA OVEN	IGLOO 140	VALORIANI	CLIENT		1800	1900	1868			104.4 m ²	
EQ-10	1	PIZZA PREP FRIDGE	UPB1800	ANVIL	CLIENT		1800	830	915		240V - 50HZ 900 WATTS 4.4AMPS		
EQ-11	1	3 DOOR UC FRIDGE	TURBO AIR	KUR18-3	PROTECH		1800	700	800				
EQ-12	1	2.5 DOOR BAR FRIDGE (GLASS DOORS)	ANVIL	UBG6180	CLIENT		1800	610	995		240V; 0.8kW		
EQ-13	1	2 DOOR BAR FRIDGE	STREAMLINE	UNKNOWN (SUSPECT IT IS C2G- 1500)	CLIENT		1500	700	900				
EQ-14	1	3 TAP WATER CHILLING SYSTEM	PUREZZA	UNKOWN	CLIENT								
EQ-15	1	GLASSWASHER	HOBART	ECOMAX 404	PROTECH		436	534	850 INCL. LEGS		2.2Kw, 15 AMP	PUMP OUT DRAIN STANDARD	HOT & COLD
EQ-16	1	2 OR 4 TAP BEER SYSTEM	TURBOAIR	TBD-2SD	PROTECH		1492	692	1065		1.7 AMPS 240/50/1		
EQ-17	1	COFFEE MACHINE 2 GROUP	BEZZERA	BZC2013S2EAF	PROTECH		600	495	535		240-415V; 3050W	YES	COLD
EQ-18	1	ICE WELL	3 MONKEES	TBC	TBC		TBC	TBC	TBC	TBC	TBC	YES	YES
EQ-19	1	ICE MACHINE	SCOTS ICE	CS40-A	PROTECH		500	540	690		10 AMP	YES	COLD



LEGEND	
CODE	DESCRIPTION
F#	FINISHES TAG
FU#	FURNITURE TAG
EQ-#	EQUIPMENT TAG
SS	STAINLESS STEEL TAG
(Solid line)	EXISTING WALL TO REMAIN
(Blue hatched)	NEW SOLID FILLED WALL
(Blue dashed)	NEW PARTIAL HEIGHT WALL SEE ELEVATIONS FOR HEIGHT
(Blue wavy)	NEW INSULATED COOL ROOM AND FREEZER PANEL (ICP)
(Yellow hatched)	EXISTING WALL TO BE DEMOLISHED

NOTES:
1. REFER TO PARTITION PLAN FOR ALL WALL FINISHES.
2. BUILDER TO ENSURE ALL RETAINED FINISHES AND SURFACES TO FLOORS, WALLS, AND CEILINGS INCLUDING COOL ROOM, SHOPFRONT, AND SHOPFRONT GLAZING TO BE MADE GOOD WITH ALL DAMAGE REPAIRED AND PROFESSIONALLY CLEANED TO LOOK AS NEW.
3. BUILDER TO ENSURE ALL RETAINED ELECTRICAL EQUIPMENT, LIGHTING, AND PLUMBING FIXTURES TO BE SERVICED SO IN GOOD WORKING ORDER AND PROFESSIONALLY CLEANED.

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RCP / LIGHTING LEGEND

CODE	DESCRIPTION
●	EMERGENCY LIGHT
EXIT	SLIM EDGE LIT EXIT SIGN
☒	EXHAUST HOOD LIGHT
⊗	LED IP64 DOWNLIGHT
⊗	LED DOWNLIGHT ON DIMMER
L#	PROPOSED LIGHTING LABEL. ON DIMMER.
●	HEAT LIGHT PENDANT
●	FEATURE PENDANT. ON DIMMER
---	RECESSED LED STRIP LIGHT WITH DIFFUSER, ON DIMMER.
⊗	SURFACE MOUNTED LED LIGHT, ON DIMMER. BLACK FITTING.

- NOTES:
1. CEILING SHALL BE SMOOTH, IMPERVIOUS, RIGID, DURABLE, NON-TOXIC, RESISTANT TO CORROSION. FREE FROM OPEN JOINT CRACKS, CREVICES, PERFORATIONS OR OPENINGS & NON-ABSORBANT.
 2. CEILING HEIGHT DIMENSIONS ARE TO BE FINISH SURFACES.
 3. CEILING LININGS TO BE AS PER NCC 2016 CLAUSE C1.10 & SPECIFICATION C1.10.
 4. WHERE NEW CEILINGS ARE IN LINE/FLUSH WITH EXISTING CEILINGS, AFFECTED PARTITION JOINT IS TO BE ONE SMOOTH CONTINUOUS SURFACE.
 5. ALL PLASTERBOARD CEILINGS TO BE FILLED, TAPED, SANDED AND PRIMED TO FLOOR TO RECEIVE FINISHES. REPAIR ALL DAMAGED EXISTING CEILING FACES TO RECEIVE NEW FINISHES AS PER SPECIFICATIONS.
 6. REPORT ANY FORESEEABLE INTERFERENCE WITH DUCTS, PIPE BEAMS, ETC.
 7. ALL PAINT WORK, UNLESS OTHERWISE SPECIFIED, IS TO BE ONE (1) BASE COAT AND TWO (2) FINISH COATS.
 8. ARTIFICIAL LIGHTING AS PER NCC 2016 CLAUSE F4.4, PART J6 AND AS/NZS 1680.0-2009.
 9. ALL SWITCHED TO BE ON DIMMERS UNLESS NOT APPLICABLE TO LIGHTING FIXTURE.
 10. ALL DIMENSIONS, SIZES ETC, ARE IN MILLIMETERS & SET OUT FROM GRID LINE OR WALLS.
 11. LESSOR TO INSTALL EMERGENCY ESCAPE LIGHTING WITHIN

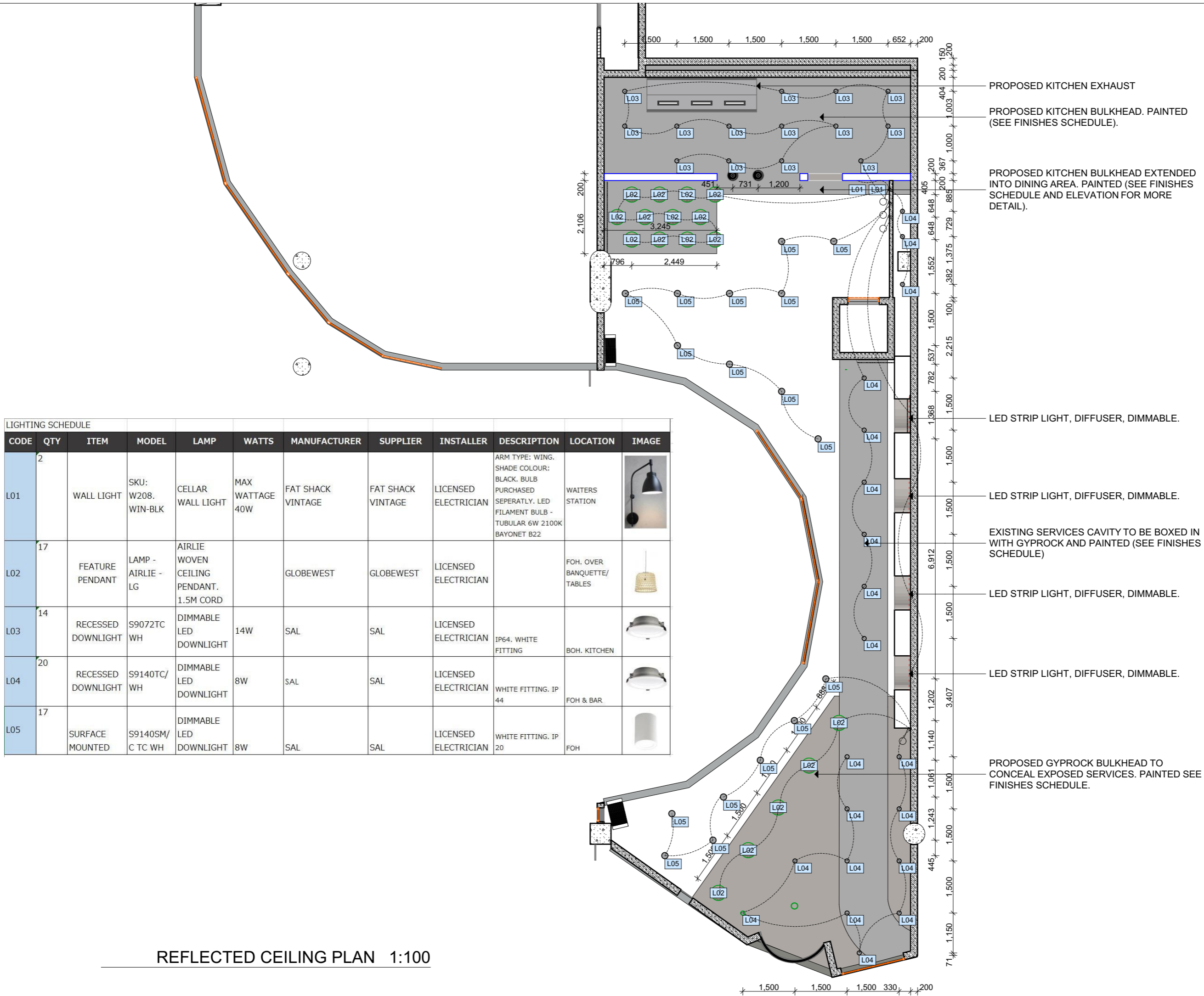
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CODE	QTY	ITEM	MODEL	LAMP	WATTS	MANUFACTURER	SUPPLIER	INSTALLER	DESCRIPTION	LOCATION	IMAGE
L01	2	WALL LIGHT	SKU: W208. WIN-BLK	CELLAR WALL LIGHT	MAX WATTAGE 40W	FAT SHACK VINTAGE	FAT SHACK VINTAGE	LICENSED ELECTRICIAN	ARM TYPE: WING. SHADE COLOUR: BLACK. BULB PURCHASED SEPERATLY. LED FILAMENT BULB - TUBULAR 6W 2100K BAYONET B22	WAITERS STATION	
L02	17	FEATURE PENDANT	LAMP - AIRLIE - LG	AIRLIE WOVEN CEILING PENDANT. 1.5M CORD		GLOBEWEST	GLOBEWEST	LICENSED ELECTRICIAN		FOH. OVER BANQUETTE/ TABLES	
L03	14	RECESSED DOWNLIGHT	S9072TC WH	DIMMABLE LED DOWNLIGHT	14W	SAL	SAL	LICENSED ELECTRICIAN	IP64. WHITE FITTING	BOH. KITCHEN	
L04	20	RECESSED DOWNLIGHT	S9140TC/ WH	DIMMABLE LED DOWNLIGHT	8W	SAL	SAL	LICENSED ELECTRICIAN	WHITE FITTING. IP 44	FOH & BAR	
L05	17	SURFACE MOUNTED	S9140SM/ C TC WH	DIMMABLE LED DOWNLIGHT	8W	SAL	SAL	LICENSED ELECTRICIAN	WHITE FITTING. IP 20	FOH	

REFLECTED CEILING PLAN 1:100

DRAWING TITLE:
**POWER & DATA LAYOUT
KITCHEN/DINING AREA**

DRAWING NUMBER: **CDC 14**

STATUS: FOR CDC

REVISION: A

DRAWN BY: ET

CHECKED BY:

DWG DATE: 10/05/2019

SCALE: AS STATED

CLIENT: ROBYN HALL

PROJECT: TERRAZZA RESTAURANT

LOCATION: Shop R13, Restaurant Level,
Chatswood Place, 260
Victoria Avenue, Chatswood NSW
2067.

POWER & DATA LEGEND

CODE	DESCRIPTION
10A	EXISTING SINGLE GPO ABOVE BENCH APPROX 1200 FFL
10B	EXISTING SINGLE GPO BELOW BENCH APPROX 400 FFL
10A	EXISTING DOUBLE GPO ABOVE BENCH APPROX 1200 FFL
10B	EXISTING DOUBLE GPO BELOW BENCH APPROX 400 FFL
10A	SINGLE GPO ABOVE BENCH APPROX 1200 FFL
10A	DOUBLE GPO ABOVE BENCH APPROX 1200 FFL
10B	SINGLE GPO BELOW BENCH APPROX 400 FFL
10B	DOUBLE GPO BELOW BENCH APPROX 400 FFL
15B	15 AMPS GPO BELOW BENCH APPROX 400FFL
32B	32 AMPS GPO BELOW BENCH APPROX 400 FFL
D	DATAPOINT, TELEPHONE, EFTPOS
CM	GPO CEILING MOUNTED
DMO	DIGITAL MENUBOARD OUTLET: X1 GPO, X1 USB PORT, X1 DATA OUTLET
USB	USB PORT
○	WATERPROOF

- NOTES:
- CONTRACTOR TO ALLOW FOR POWER SUPPLY TO ALL REMOTE ILLUMINATED SIGNAGE
 - CONTRACTOR TO LIAISE WITH ELECTRICAL SUBCONTRACTORS TO ENSURE ALL POWER, DATA AND COMMUNICATION REQUIREMENTS ARE APPROPRIATE AND ACCESSIBLE.
 - CONTRACTOR TO ENSURE EXISTING ELECTRICAL DISTRIBUTION BOARD IS IN GOOD WORKING ORDER PRIOR TO COMMENCING ON SITE.
 - DIMENSIONS ARE TO BE CENTER LINE OF GPO.
 - DIGITAL MENUBOARD OUTLET (DMO) TO BE POSITIONED SO IT IS CONCEALED, AND DOES NOT INTERFERE WITH TV OR TV BRACKET.
 - THIS PLAN IS INDICATIVE ONLY AND FOR COORDINATION. ELECTRICAL ENGINEER TO VERIFY FINAL REQUIREMENTS.
 - ALL SERVICES INSTALLATION SHALL BE IN ACCORDANCE WITH THE RELEVANT AUSTRALIAN STANDARDS, BUILDING CODE OF AUSTRALIA AND RELEVANT AUTHORITIES AND GOVERNING BODIES.
 - ALL GPO COVER PLATES TO MATCH RESPECTIVE COLOUR OF WALL FINISH.
 - ALL NEW SOCKET OUTLETS TO PREP AREA TO BE WATERPROOF (IP56) AND INSTALLED WHEREVER ELSE REQUIRED.
 - EXISTING POWER AND DATA MAY BE IN SOME LOCATIONS SHOWN ON PLAN. ENSURE TO CHECK SITE CONDITIONS BEFORE PURCHASING OR INSTALLATION.
 - REVIEW EXISTING POWER AND DATA TO ENSURE FUNCTIONALITY.
 - ELECTRICAL ENGINEER TO CONFIRM POSITION OF TENANCY SWITCHBOARD TO TENANT'S AGREED LOCATION.
 - REFER TO ALL OTHER DRAWINGS FOR OTHER ELECTRICAL REQUIREMENTS.

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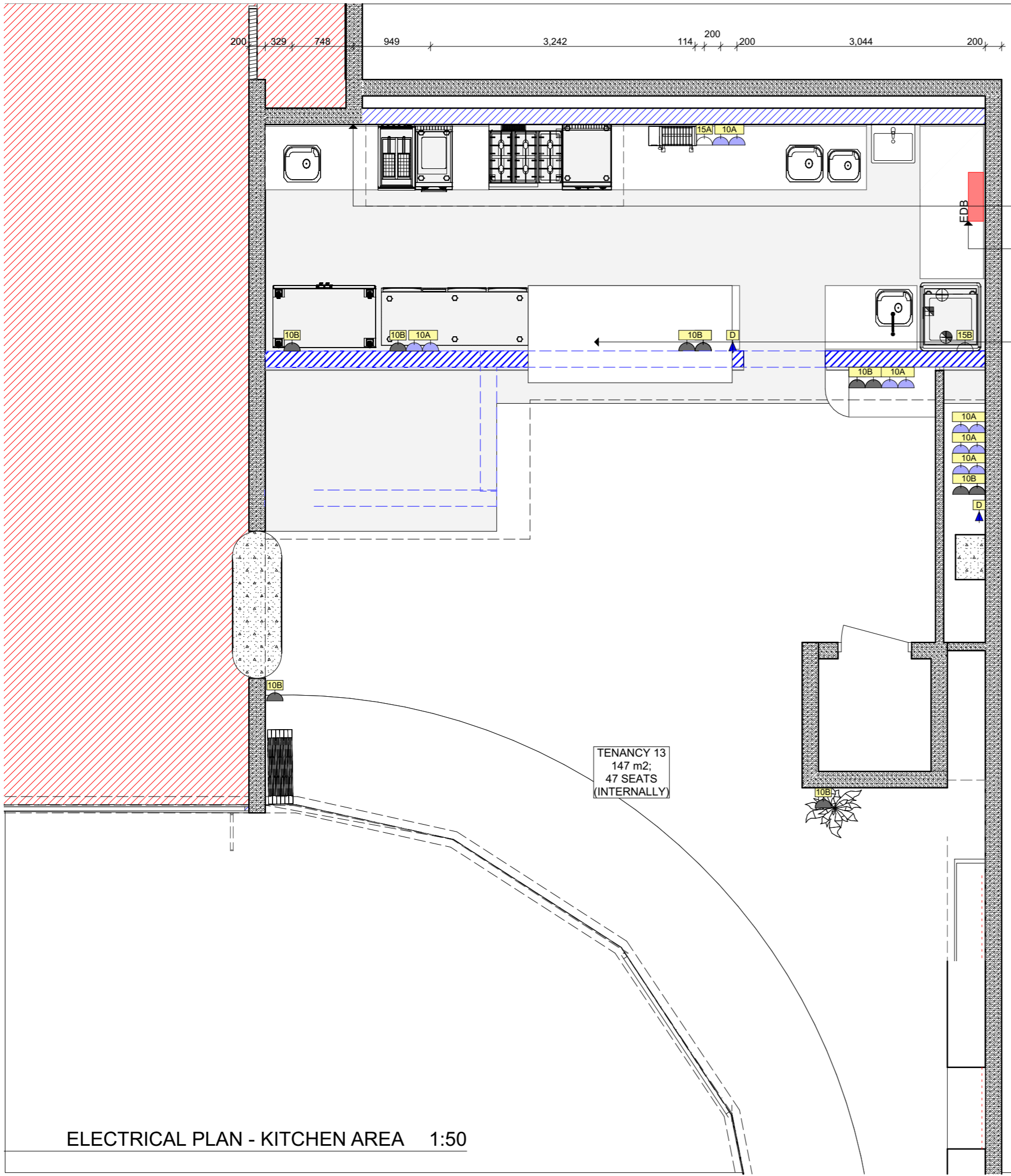
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POWER SWITCH FOR EXHAUST HOOD.

EXISTING EDB LOCATION. MAY NEED TO BE RELOCATED DUE TO BENCH. TO BE VERIFIED ON SITE.

2xPEMDANT HEAT LAMPS TO BE HARDWIRED.

ELECTRICAL PLAN - KITCHEN AREA 1:50

DRAWING TITLE:
**POWER & DATA LAYOUT BAR
AREA**

DRAWING NUMBER: **CDC 14.1**

STATUS: FOR CDC

REVISION: A

DRAWN BY: ET

CHECKED BY:

DWG DATE: 10/05/2019

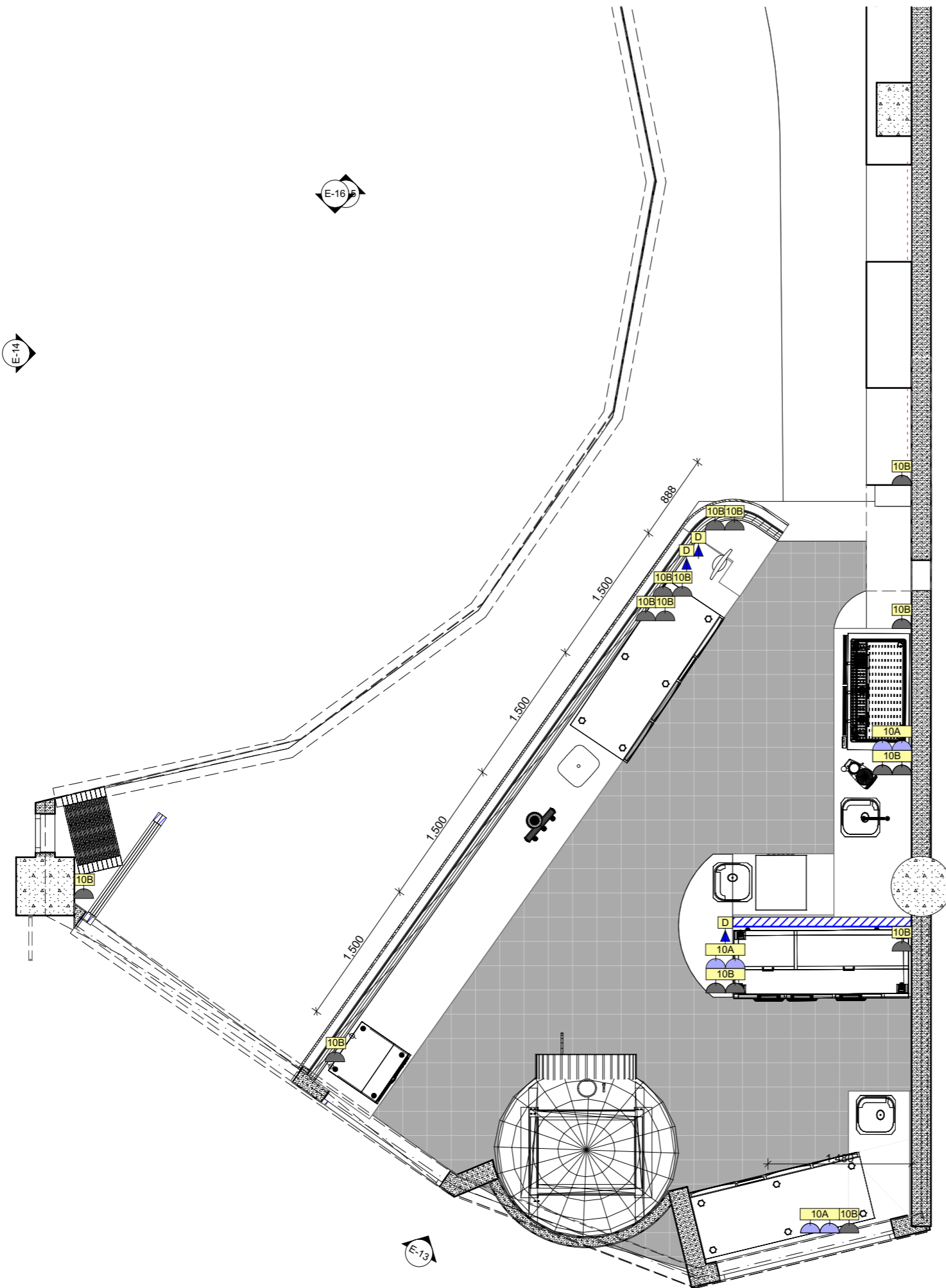
SCALE: AS STATED

CLIENT: ROBYN HALL

PROJECT: TERRAZZA RESTAURANT

LOCATION: Shop R13, Restaurant Level,
Chatswood Place, 260
Victoria Avenue, Chatswood NSW
2067.

CLIENT SIGNATURE:



ELECTRICAL PLAN - BAR AREA 1:50

PLINTH PLAN LEGEND

CODE	DESCRIPTION
	FLOOR BASE PLINTH

- PLINTH NOTES:
- COVERING TO BE AS PER NCC 2016 CLAUSE C1.10 & SPECIFICATION C1.10
 - WATERPROOFING AS PER NCC 2016 CLAUSE F1.7 AND AS3740-2010.
 - STAINLESS STEEL TRANSITION STRIP TO BE INSTALLED AT ALL FLOORING MATERIAL AND LEVEL CHANGES.
 - ALL JUNCTION POINTS TO BE FLUSH & LEVEL BETWEEN VARIED FLOOR FINISHES.
 - GROUT TO BE NEAT WITH NO SMEARING OVER FACE OF TILE.
 - 2MM GROUT GAP WITH ACID RESISTANT EPOXY GROUT.
 - SEALANT WHERE REQUIRED TO COMPLY WITH FOOD PREMISES CODE.
 - ALL GROUT TO BE FOOD GRADE EPOXY.

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DRAWING TITLE:
**HYDRAULIC LAYOUT KITCHEN
AREA**

DRAWING NUMBER: **CDC 15**

STATUS: FOR CDC

REVISION: A

DRAWN BY: ET

CHECKED BY:

DWG DATE: 10/05/2019

SCALE: AS STATED








CLIENT: ROBYN HALL

PROJECT: TERRAZZA RESTAURANT

LOCATION: Shop R13, Restaurant Level,
Chatswood Place, 260
Victoria Avenue, Chatswood NSW
2067.

CLIENT SIGNATURE:

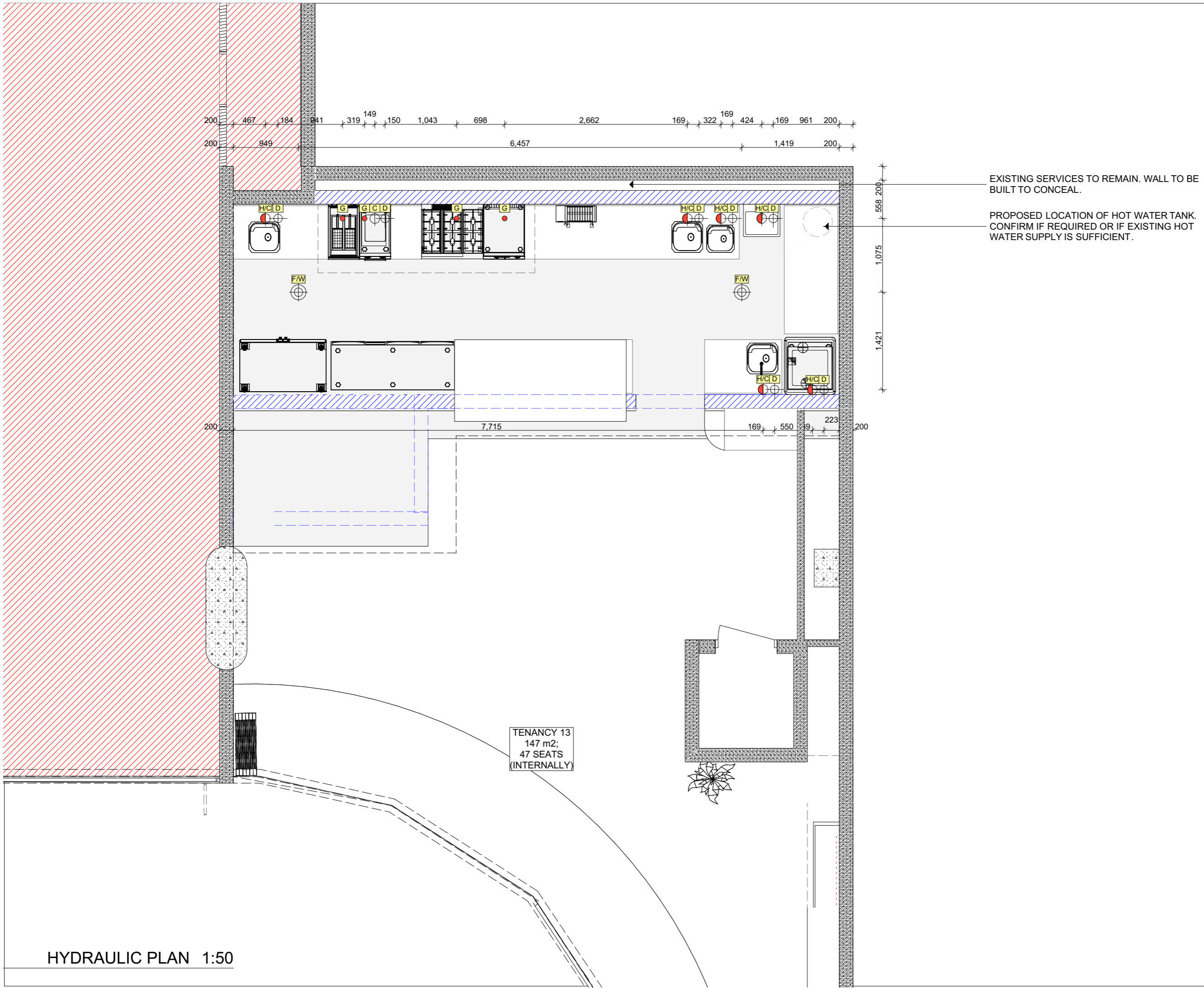
HYRAULIC PLAN LEGEND

CODE	DESCRIPTION
	HOT WATER CONNECTION
	COLD WATER CONNECTION
	HOT & COLD WATER CONNECTION
	GAS CONNECTION
	FLOOR WASTE
	DRAIN
	TUNDISH

FLOORING NOTES:
 1. FLOOR LININGS & FLOOR COVERINGS TO BE AS PER NCC 2016 CLAUSE C1.10 & SPECIFICATION C1.10.
 2. RAMP STEEPER THAN 1:14 P5 OR R12 AS PER NCC 2016 TABLE D2.14.
 3. STAIR & LANDING NOSING P3 AS PER NCC 2016 TABLE D2.14.
 4. FRONT RAMP AND LANDING ARE TO BE COMPLETED IN ACCORDANCE WITH THE APPROVED PLANS INCLUDING MEETING THE DIMENSIONAL REQUIREMENTS FOR THE LANDING AND THE INSTALLATION OF THE SLIP RATED TILES AND DOOR THRESHOLD RAMP.
 5. WATERPROOFING AS PER NCC 2016 CLAUSE F1.7 AND AS3740-2010.
 6. STAINLESS STEEL TRANSITION STRIP TO BE INSTALLED AT ALL FLOORING MATERIAL CHANGES.
 7. ALL JUNCTION POINTS TO BE FLUSH & LEVEL BETWEEN VARIED FLOOR FINISHES.
 8. ALL COOL ROOM CONCRETE FLOORS TO BE SEALED BY REFRIGERATION CONTRACTOR.
 9. GROUT TO BE NEAT WITH NO SMEARING OVER FACE OF TILE.
 10. 2MM GROUT GAP WITH ACID RESISTANT EPOXY GROUT.
 11. SEALANT WHERE REQUIRED TO COMPLY WITH FOOD PREMISES CODE.
 12. ALL GROUT TO BE FOOD GRADE EPOXY.

HYDRAULICS NOTES:
 1. WATER HEATER SUPPLY TO COMPLY WITH NCC 2016 CLAUSE J7.2.
 2. DRAIN, HOT & COLD WATER LOCATION ARE INDICATIVE ONLY. TO BE PLACED IN MOST EFFICIENT LOCATION IN AREA SHOWN TO SERVICE NEARBY EQUIPMENT.
 3. REFER TO HYDRAULIC ENGINEERS DRAWINGS.
 4. FALLS TO BE DETERMINED BY LESSORS BUILDER AND BASE BUILD ARCHITECT OFF FLOOR WASTE LOCATIONS SHOWN.

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HYDRAULIC PLAN 1:50

DRAWING TITLE:
HYDRAULIC LAYOUT - BAR AREA

DRAWING NUMBER: **CDC 15.1**

STATUS: FOR CDC

REVISION: A

DRAWN BY: ET

CHECKED BY:

DWG DATE: 10/05/2019

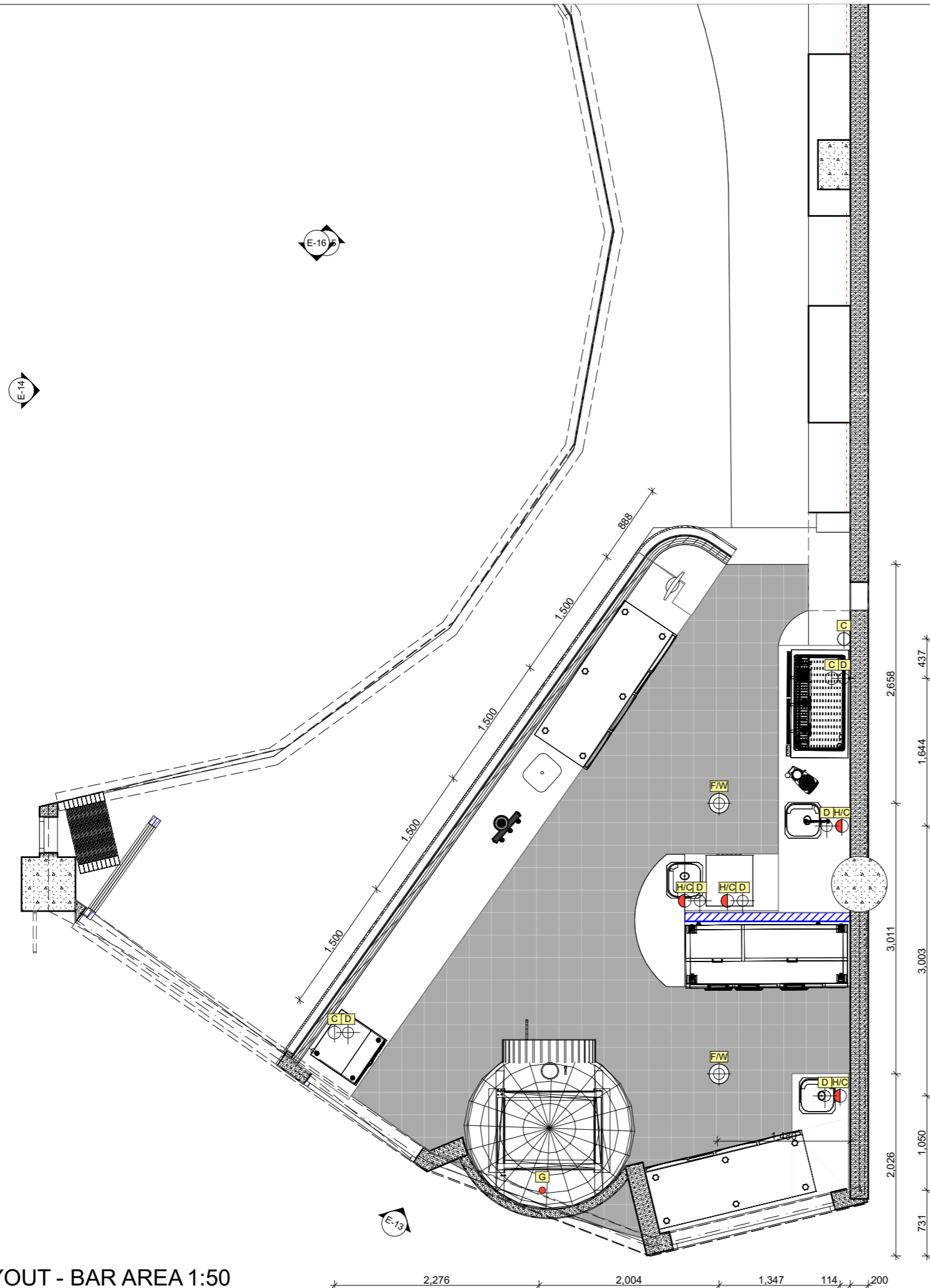
SCALE: AS STATED

CLIENT: ROBYN HALL

PROJECT: TERRAZZA RESTAURANT

LOCATION: Shop R13, Restaurant Level,
Chatswood Place, 260
Victoria Avenue, Chatswood NSW
2067.

CLIENT SIGNATURE:



HYDRAULIC LAYOUT - BAR AREA 1:50

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PROPOSED LOCATION OF SQUARE BLADE SIGN. WALL MOUNTED ONTO EXISTING COLUMN. SEE D01 FOR MORE INFORMATION.

EXISTING CONCRETE COLUMN TO REMAIN. FINISH TO BE DETERMINED BY LESSOR.

EXPOSED HAMPER BEAM; EXISTING (TO REMAIN).

BIFOLD DOORS CREATE ACCESS TO BAR/PIZZA AREA FROM ACCESS RAMP (CAR PARK)

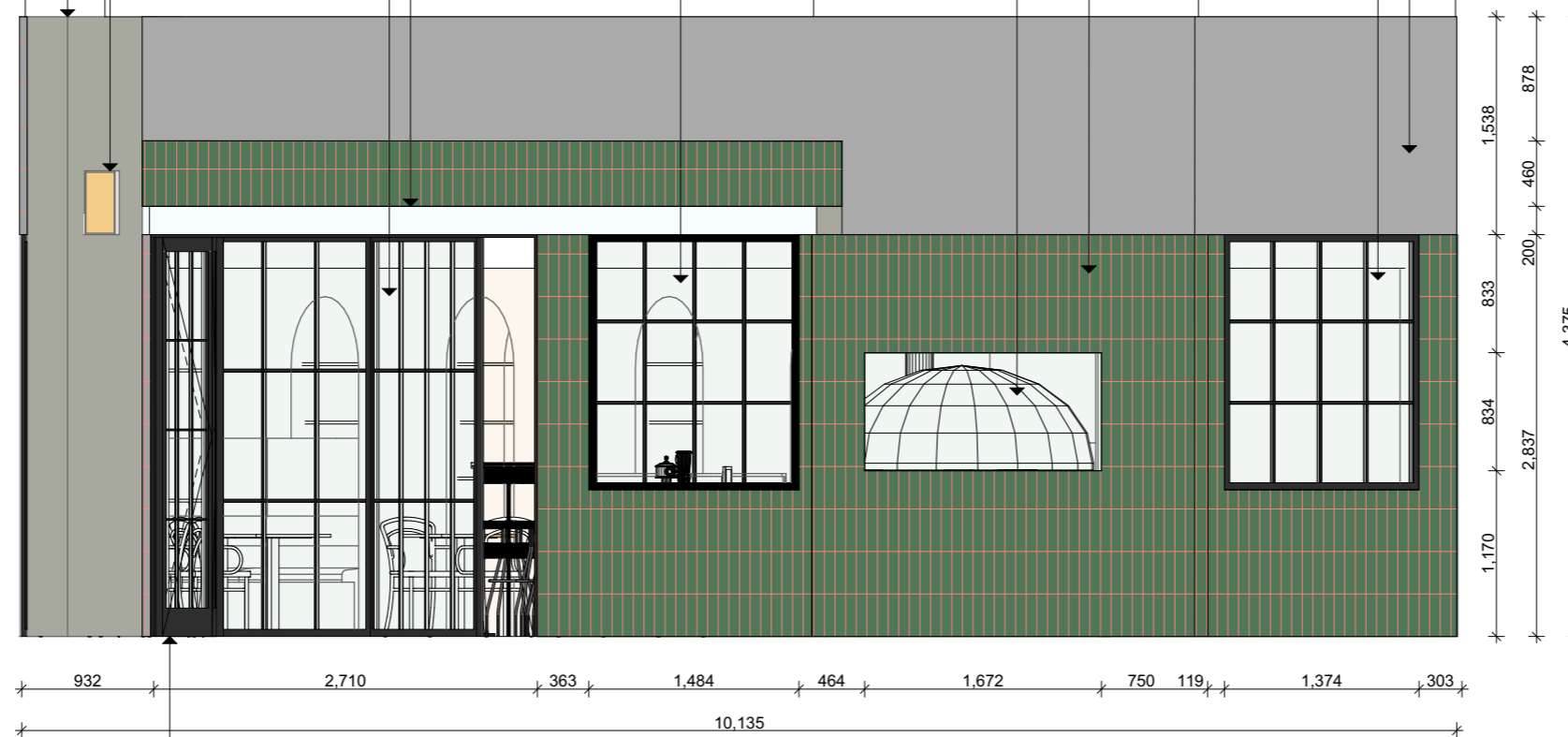
PROPOSED FIXED GLASS, BLACK ALUMINIUM FRAMED WINDOWS WITH MULLIONS.

PROPOSED CURVED (OR SEGMENTED DEPENDING ON COST) TOUGHENED GLASS TO ALLOW VISIBILITY OF PIZZA OVEN FROM PASSERS BY.

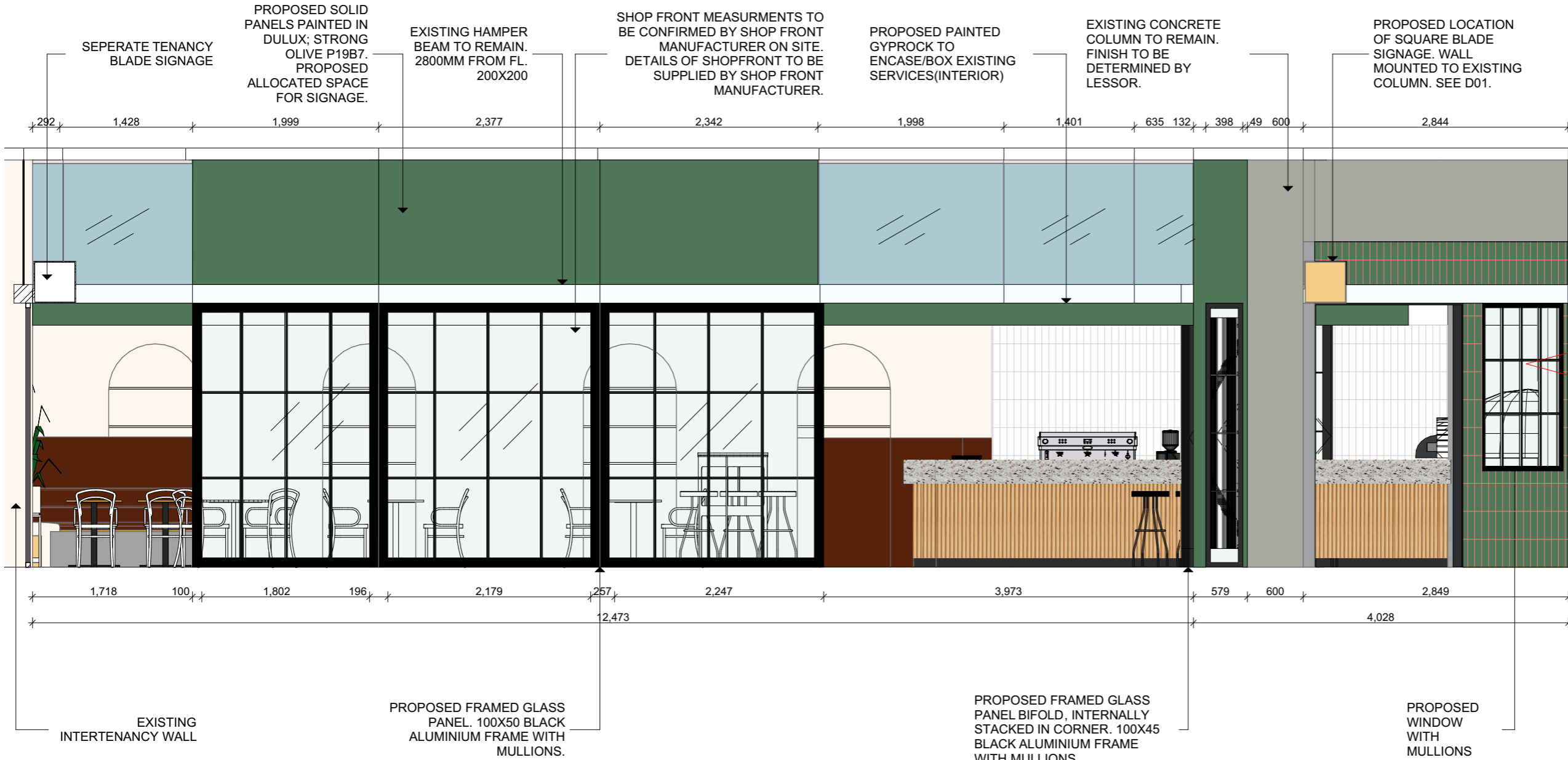
PROPOSED EXTERNAL PLASTERBOARD WALLS, CLAD WITH TILES. ERP BROS, MALAGA GREEN, COLOURED GROUT.

MALL BULKHEAD AND CEILING BY LESSOR. FINISH TO BE DETERMINED BY LESSOR.

PROPOSED FIXED GLASS, BLACK ALUMINIUM FMAED WITH MULLIONS



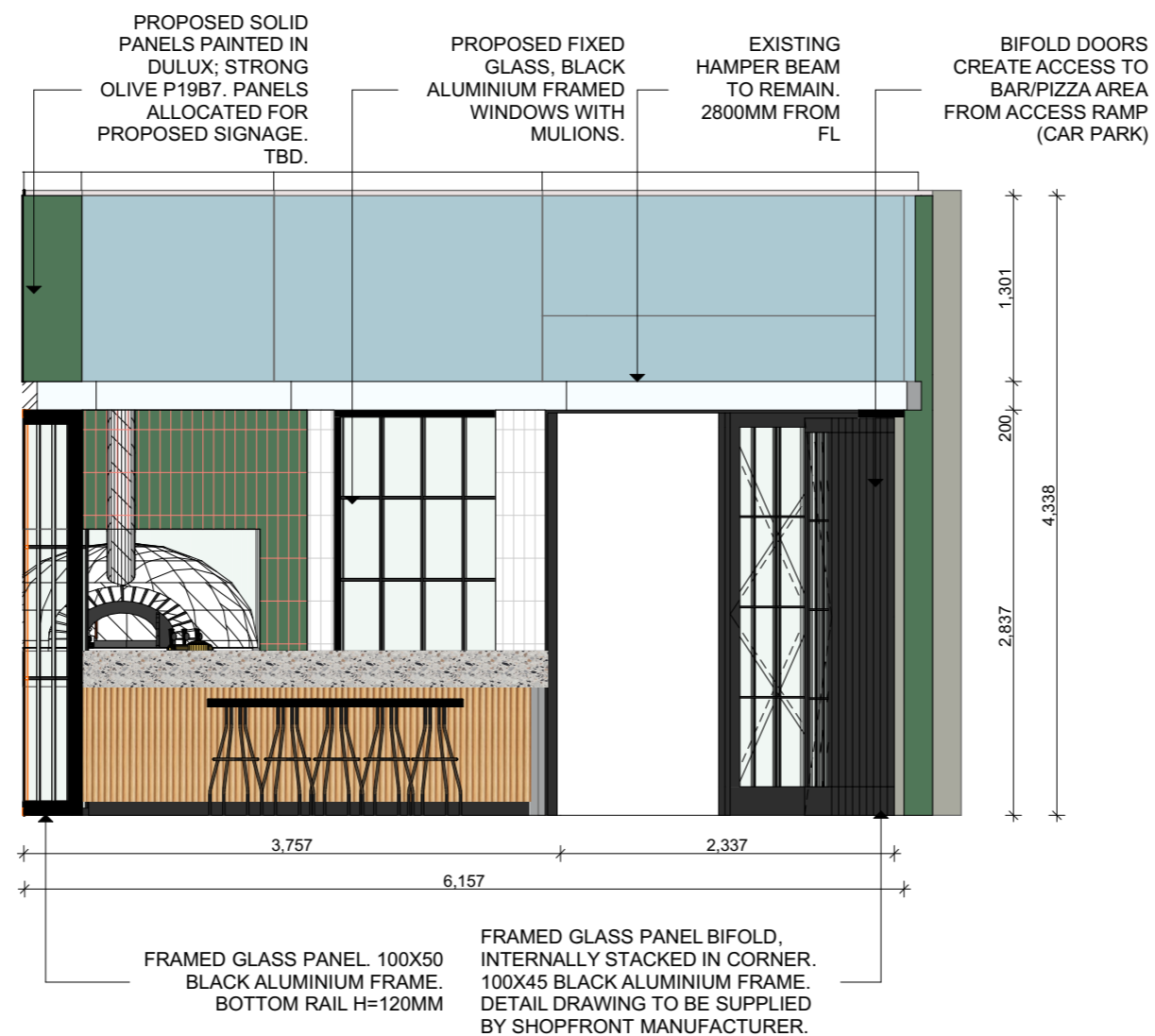
FRAMED GLASS PANEL BIFOLD WITH MULLIONS. INTERNALLY STACKED IN CORNER ON LEFT. 100X50 BLACK ALUMINIUM FRAME. FINAL DESIGN TO BE DETAILED BY SHOP FRONT MANUFACTURER.

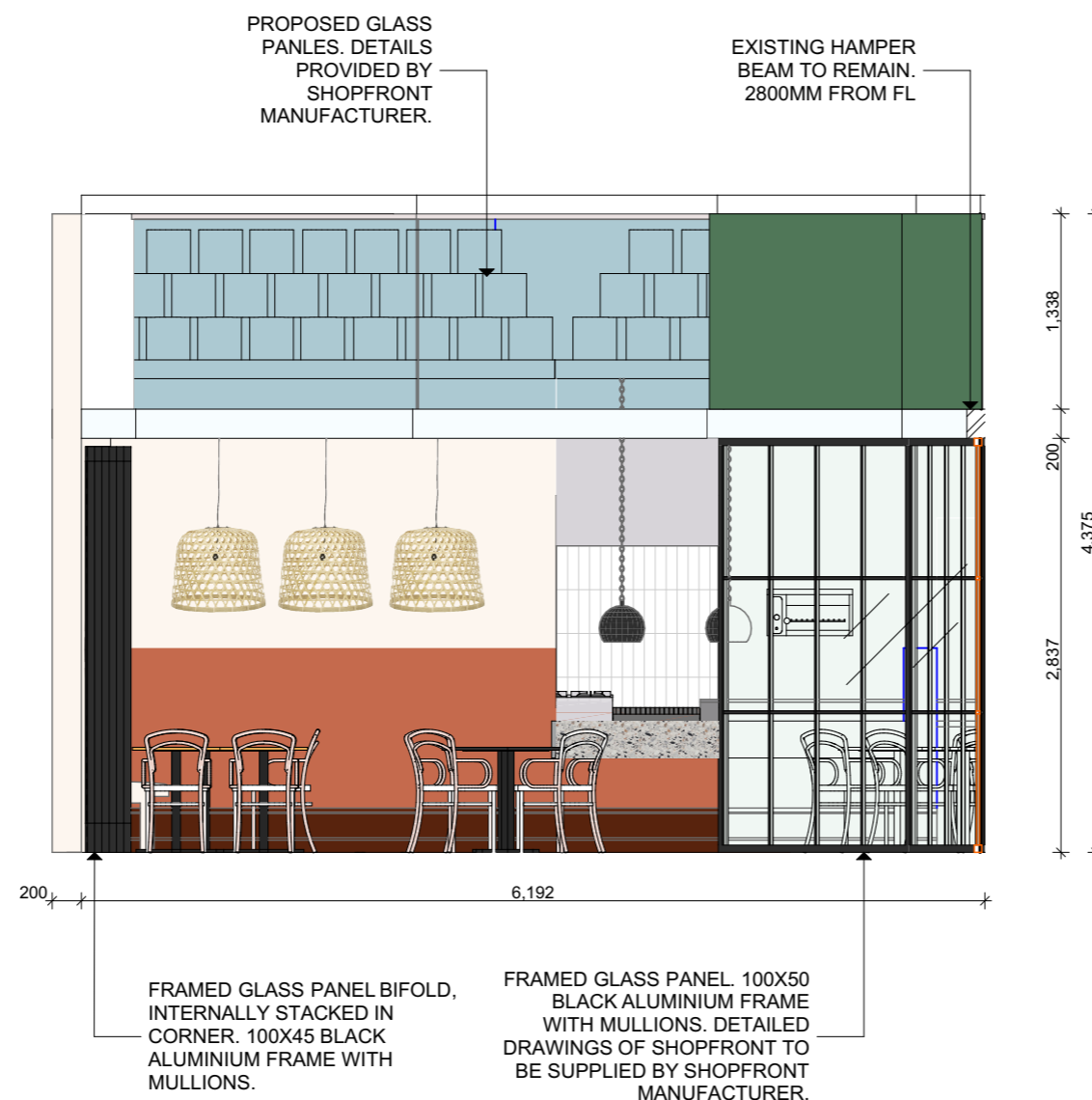


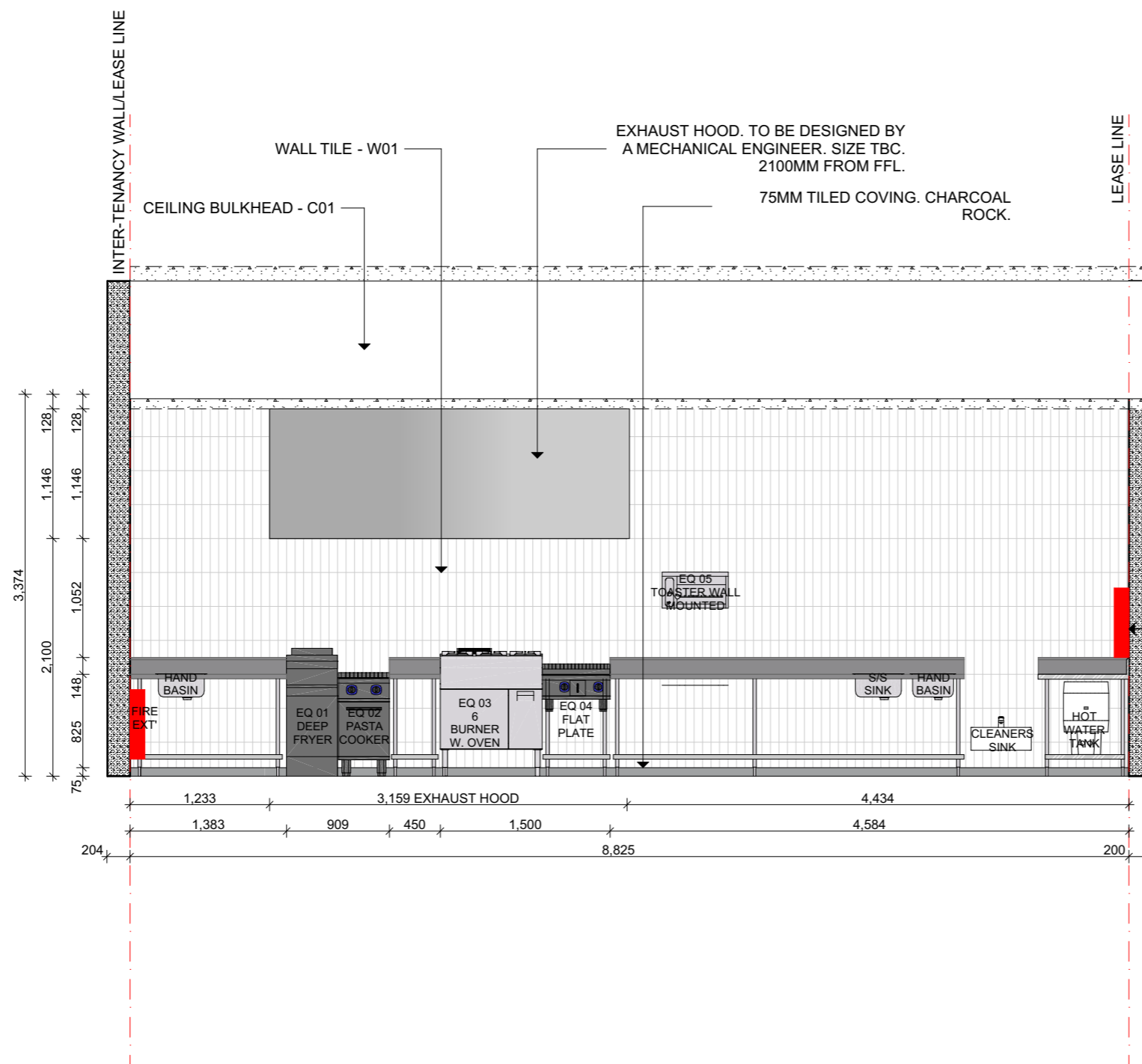
PROPOSED SHOP FRONT ELEVATION 02

1:50

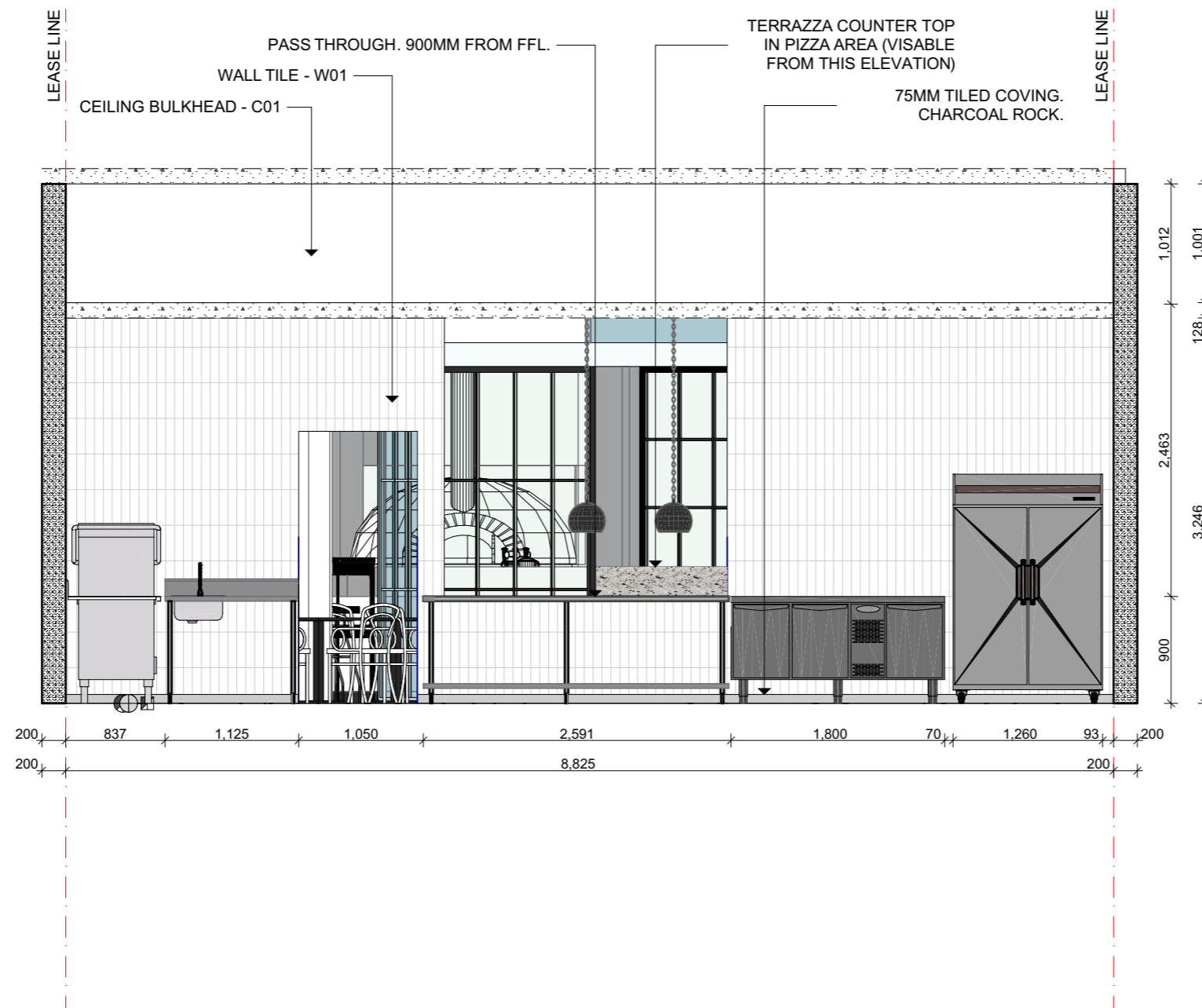
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EXISTING LOCATION OF EDB. HIEGHT FROM FL TO BE CONFIRMED; MIGHT NEED TO RELOCATE.



DRAWING TITLE:
PROPOSED ELEVATION 07

DRAWING NUMBER: **CDC 22**

STATUS: FOR CDC

REVISION: A

DRAWN BY: ET

CHECKED BY:

DWG DATE: 10/05/2019

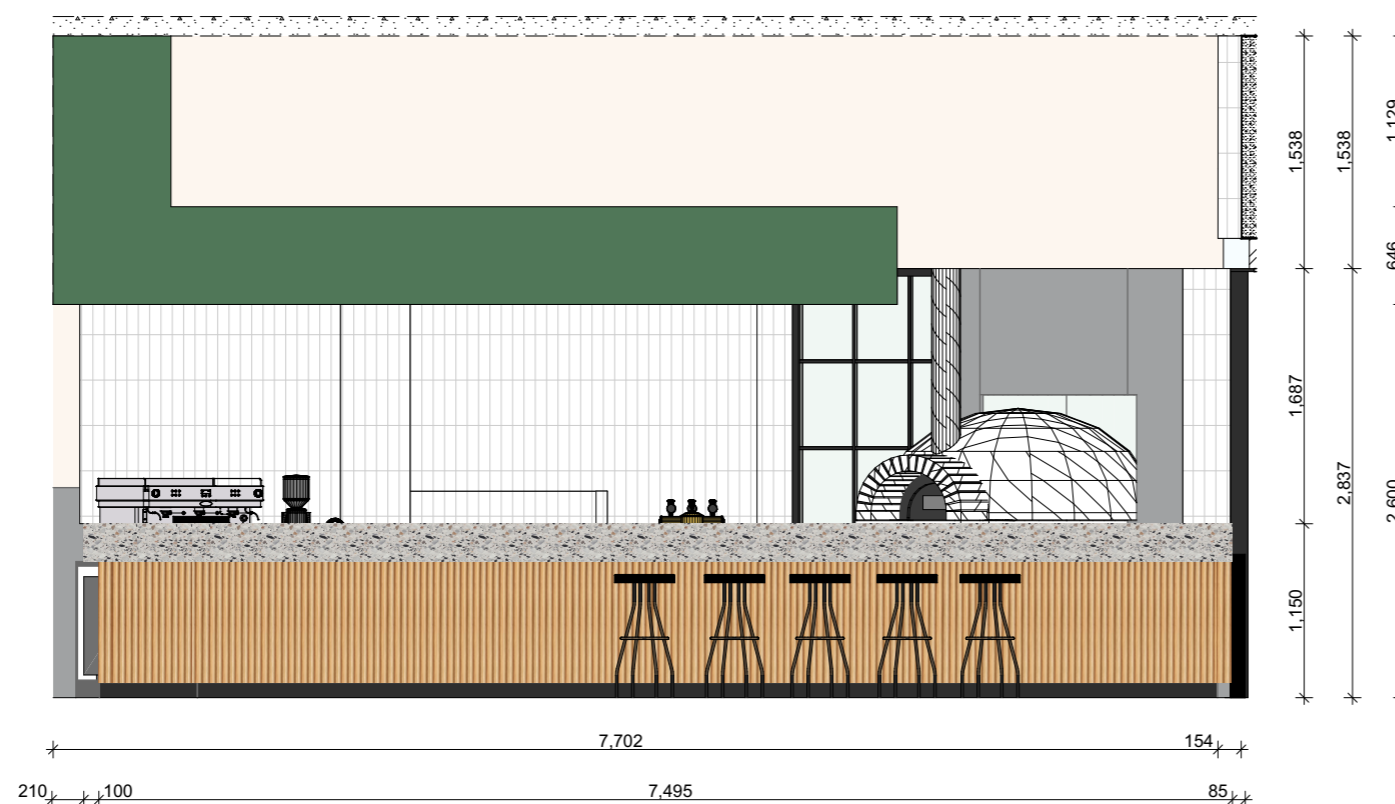
SCALE: AS STATED

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2067.

CLIENT SIGNATURE:



PROPOSED ELEVATION 07

1:50

DRAWING TITLE:
3D VIEWS - SHOP FRONT

DRAWING NUMBER: **CDC 23**

STATUS: FOR CDC

REVISION: A

DRAWN BY: ET

CHECKED BY:

DWG DATE: 10/05/2019

SCALE: AS STATED

CLIENT: ROBYN HALL

PROJECT: TERRAZZA RESTAURANT

LOCATION: Shop R13, Restaurant Level,
Chatswood Place, 260
Victoria Avenue, Chatswood NSW
2067.

CLIENT SIGNATURE:



DRAWING TITLE:
3D VIEWS - SHOP FRONT

DRAWING NUMBER: **CDC 24**

STATUS: FOR CDC

REVISION: A

DRAWN BY: ET

CHECKED BY:

DWG DATE: 10/05/2019

SCALE: AS STATED

CLIENT: ROBYN HALL

PROJECT: TERRAZZA RESTAURANT

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CLIENT SIGNATURE:

