

GENERAL NOTES

THIS SHEET MUST BE CIRCULATED WITH ALL ISSUED DOCUMENTATION.

THE INFORMATION CONTAINED WITHIN THIS DOCUMENTATION IS TO THE BEST OF OUR KNOWLEDGE ACCURATE AND CORRECT. HOWEVER ALL INFORMATION IS INDICATIVE AND EXACT DIMENSIONS, SPECIFICATIONS, AND OTHER RELEVANT INFORMATION SHOULD BE SOUGHT FROM THE APPROPRIATE SOURCE.

IF IN DOUBT, ASK.

IT IS THE RESPONSIBILITY OF THE MAIN CONTRACTOR TO COORDINATE ALL SUB TRADES TO ENSURE DETAILS PERFORM AS INTENDED. IT IS ALSO THE RESPONSIBILITY OF THE MAIN CONTRACTOR TO COORDINATE ALL PROPRIETARY ITEMS TO ENSURE DETAILS PERFORM AS INTENDED.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE EXACT STRUCTURAL DETAILS AND SECURE STRUCTURAL ENGINEER'S CERTIFICATION FOR ALL STRUCTURAL WORKS INCLUDING (BUT NOT LIMITED TO) GLAZING, SIGNAGE, HANGING FIXTURES AND ALL BUILT ELEMENTS.

IT IS THE RESPONSIBILITY OF THE MAIN CONTRACTOR TO SECURE ALL REQUIRED CERTIFICATIONS TO ENABLE RELEASE OF THE OCCUPATION CERTIFICATE. IT IS ALSO THE RESPONSIBILITY OF THE MAIN CONTRACTOR TO CORRESPOND WITH THE COUNCIL OR PRINCIPLE CERTIFYING AUTHORITY AS REQUIRED TO SECURE THE RELEASE OF THE OCCUPATION CERTIFICATE.

ALL DIMENSIONS TO BE VERIFIED ON SITE BY CONTRACTOR PRIOR TO CONSTRUCTION - DO NOT SCALE.

CONTRACTOR TO LIAISE WITH ELECTRICAL CONTRACTORS TO ENSURE ALL POWER, DATA, COMMUNICATION REQUIREMENTS ARE APPROPRIATE AND ACCESSIBLE. CONTRACTOR TO LIAISE WITH THIRD PARTY SUPPLIERS TO ONFIRM EXACT REQUIREMENTS.

CONTRACTOR TO ENSURE CONSISTENCY BETWEEN SIMILAR MATERIALS IS MAINTAINED. CONTRACTOR TO NOTIFY DESIGNER/CLIENT OF ANY DISCREPANCIES, DIMENSIONAL INCONSISTENCIES OR THE NEED FOR CLARIFICATION PRIOR TO MANUFACTURE/CONSTRUCTION.

CONTRACTOR TO CONFIRM STABILITY AND FEASIBILITY OF ALL UNITS/COMPONENTS PRIOR TO MANUFATURE.

IF IN DOUBT OF SUPPLY RESPONSIBILITY ALLOW FOR BY SHOPFITTER AND SEEK CLARIFICATION.

FOR FINISHES SPECIFICATION REFER TO FINISHES SCHEDULE.

DESIGNER/CLIENT TO APPROVE ALL CONTRACTORS DETAILED DRAWINGS AND SET OUT PRIOR TO CONSTRUCTION.

CONSTRUCTION SHALL BE OF CONTRACT QUALITY. ANY COST VARIATIONS MUST BE APPROVED BY CLIENT PRIOR TO EXECUTION BY SHOPFITTER.

NON APPROVED COST VARIATIONS WILL NOT BE MET.

ANY AS BUILT DRAWING REQUIREMENT IS TO BE MET BY MAIN CONTRACTOR.

ALL PIPES, CONDUITS AND REFRIGERATION CONDENSATE PIPES SHOULD BE CONCEALED OUT OF CUSTOMER SITE AND SHOULD BE CHASED IN WALLS, FLOORS, PLINTHS OR CEILINGS AND COMPLY WITH ALL REQUIRED STANDARDS.

WHERE FITTINGS ARE BUTT JOINED TOGETHER, THEY MUST BE SEALED TO ELIMINATE ANY CAVITIES OR CREVICES. ALTERNATIVELY A CLEAR SPACE OF AT LEAST 75MM IS TO BE PROVIDED BETWEEN FITTINGS.

SHOPFITTER TO PROVIDE APPROPRIATE & APPROVED CUTOUTS IN BENCHING AND FIXTURES AS REQUIRED TO ALLOW FOR CABLE ACCESS.

ALL FITTINGS, MECHANISMS & EQUIPMENT SHALL BE INSTALLED AS PER MANUFACTURERS RECOMMENDATIONS & INSTRUCTIONS.

SHOPFITTER SHALL REQUEST TO BE FREE ISSUED WITH EQUIPMENT SUCH AS POS EQUIPMENT ETC TO ENSURE FIXTURES ARE MANUFACTURED TO SUIT.

UNLESS NOTED OTHERWISE ALL FIXINGS ARE TO BE CONCEALED. CONTRACTOR TO ENSURE SAFETY, STABILITY AND SUITABILITY OF ALL CONSTRUCTION AND FIXINGS.

GENERAL BCA COMPLIANCE

ALL WORK TO BE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA (BCA), ALL RELEVANT AUSTRALIAN STANDARDS, THE CODE FOR THE FITOUT OF FOOD PREMISES, STATUTORY REGULATIONS, LOCAL AUTHORITY REQUIREMENTS AND ALL CONDITIONS OF COUNCIL'S OR PCA'S DEVELOPMENT/PLANNING CONSENT AND THE CONDITIONS OF THE CONSTRUCTION CERTIFICATE/ BUILDING PERMIT.

ACCESS FOR PEOPLE WITH DISABILITIES TO BE IN ACCORDANCE WITH BCA CLAUSE PART D3 AND AS1428.1

ALL WORK TO COMPLY WITH BCA PART C1 FIRE RESISTANCE AND STABILITY. FIRE INDICES OF MATERIALS, LININGS AND SURFACE FINISHES TO COMPLY WITH SPECIFICATIONS C1.10 AND C1.10A OF THE BUILDING CODE OF AUSTRALIA. AT COMPLETION OF THE PROJECT CERTIFICATES ARE TO BE SUBMITTED BY THE CONTRACTOR DETAILING COMPLIANCE WITH THIS SPECIFICATION.

OPENINGS IN FLOORS, SHAFTS, OPENINGS FOR SERVICE INSTALLATIONS, AND CONSTRUCTION JOINTS WILL BE PROTECTED IN ACCORDANCE WITH C3 OF THE BCA. ALL FLOOR PENETRATIONS TO BE TREATED IN ACCORDANCE WITH CLAUSE C3.15 OF THE BUILDING CODE OF AUSTRALIA IN ORDER TO MAINTAIN THE FIRE RESISTANCE LEVEL OF THE EXISTING FLOOR. ALL OPENINGS TO BE VERMIN PROOF.

THE PROVISIONS FOR EGRESS WILL COMPLY WITH PART D1 OF THE BCA. ALL REQUIRED EXIT DOORS WILL HAVE AN UNOBSTRUCTED HEIGHT OF 1,980MM AND AN UNOBSTRUCTED WIDTH OF 800MM IN ACCORDANCE WITH CLAUSE D1.6 OF THE BCA. THE UNOBSTRUCTED WIDTH IN THE REQUIRED EXISTS AND IN THE PATHS OF TRAVEL TO THE REQUIRED EXISTS, EXCEPT FOR DOORWAYS, WILL BE NOT LESS THAN 1M.

ALL ELECTRICITY/DISTRIBUTION BOARDS, OR CENTRAL, TELECOMMUNICATION DISTRIBUTION BOARDS LOCATED IN THE PATHS OF TRAVEL, WILL BE ENCLOSED IN NON-COMBUSTIBLE CONSTRUCTION OR A FIRE PROTECTIVE COVERING, WITH DOORS PROVIDED WITH SMOKE SEALS IN ACCORDANCE WITH CLAUSE D2.7 OF THE BCA.

REQUIRED EXIT DOORS WILL BE READILY OPENABLE WITHOUT A KEY FROM THE SIDE THAT FACES A PERSON SEEKING EGRESS, BY A SINGLE HANDED DOWNWARD ACTION ON A SINGLE DEVICE WHICH IS LOCATED BETWEEN 900MM AND 1.2M ABOVE THE FLOOR, IN ACCORDANCE WITH CLAUSE D2.21 OF THE BCA. SPRINKLER LOCATIONS TO BE ALTERED TO SUIT THE NEW DESIGN AS REQUIRED IN ACCORDANCE WITH BCA CLAUSE E1.5

SNOKE HAZARD MANAGEMENT SYSTEMS TO BE ALTERED TO SUIT THE NEW DESIGN AS REQUIRED IN ACCORDANCE WITH BCA CLAUSE E2.2. AT THE COMPLETION OF THE BUILDING PROJECT, CERTIFICATES CERTIFYING THAT ALL FIRE SAFETY MEASURES HAVE BEEN DESIGNED AND INSTALLED IN ACCORDANCE WITH THE REQUIRED STANDARDS TO BE PROVIDED BY SUITABLE QUALIFIED PERSONS.

EMERGENCY LIGHTING TO BE PROVIDED IN ACCORDANCE WITH CLAUSES E4.2 AND E4.4 OF THE BCA AS AS2293.1 - 2005.

EXIT SIGNS AND EMERGENCY LIGHTS TO BE PROVIDED IN ACCORDANCE WITH CLAUSES E4.5, E4.6 AND E4.8 OF THE BCA AND AS2293.1 - 2005. EWIS LOCATIONS ARE TO BE ALTERED TO SUIT THE DESIGN AS REQUIRED IN ACCORDANCE WITH BCA CLAUSE E4.9.

VENTILATION TO BE PROVIDED IN ACCORDANCE WITH PART F4 OF THE BCA AND AS1668.1-1998 AND AS1668.2-1991. ENERGY EFFICIENCY OF AIR CONDITIONING AND VENTALIATION TO BE IN ACCORDANCE WITH PART J5 OF THE BCA. ARTIFICIAL LIGHT AND ENERGY EFFICIENCY TO BE PROVIDED IN ACCORDANCE WITH PART F4.4 AND SECTION J6 OF THE BCA.

HOT WATER SERVICE TO BE PROVIDED IN ACCORDANCE WITH SECTION J7.2 OF THE BCA.

BCA PART J COMPLIANCE REQUIREMENTS:

LIGHTING & EQUIPMENT

LOW VOLTAGE LIGHTING MUST HAVE ELECTRONIC CONTROL GEAR. MOTION SENSORS ON LIGHTING CIRCUITS TO STORE AND BACK OF HOUSE ROOMS. EMERGENCY AND EXIT LIGHTING CIRCUITS TO STORE AND BACK OF HOUSE ROOMS. ALL EQUIPMENT SPECIFIED MUST MEET MEPS REQUIREMENTS. ALL REFRIGERATION IS CERTIFIED WITH A MINIMUM 4 STAR ENERGY RATING. INSULATION REQUIRED TO HOT AND COLD FOOD CASES AND WATER HEATERS. ALL WHITE GOODS USED TO BE 4 STAR RATING OR HIGHER. TIMERS TO LIGHTING AND EQUIPMENT ALLOWING SWITCH-OFF AFTER TRADING HOURS. LCD TO BE SPECIFIED AS A SUBSTITUTE FOR PLASMA SCREENS DIMMING SWITCHES ARE SPECIFIED FOR GENERAL LIGHTING WHERE POSSIBLE.

WATER USAGE

PLUMBING ITEMS TO ACHIEVE A HIGH WELS RATING 6 STAR FOR TAPS AND FLOW CONTROLLERS 4 STAR FOR DISHWASHING MACHINES. 4 STAR FOR LAVATORY EQUIPMENT . WATERLESS URINALS WHERE REQUIRED. 3 STAR SHOWERS TRIGGER NOZZLES TO ALL WASH-DOWN EQUIPMENT. AIR COOLED ICE MACHINE SUBSTITUTED FOR WATER COOLED WHERE POSSIBLE. WATERLESS WOK COOKING SYSTEM SPECIFIED IF REQUIRED.

MATERIALS

GREEN FIRST LAMINEX PRODUCTS SOURCED. FSC CERTIFIED TIMBER VENEERS OR TIMBER PRODUCTS SOURCED. LOW VOC PRODUCTS (EG. PAINT) SOURCED. MDF AND PARTICLE BOARD PRODUCTS MUST BE E0 RATED. FIXTURES AND MATERIALS SOURCED AND USED TO MINIMISE WASTAGE. HIGH DENSITY POLYETHYLENE MATERIALS SPECIFIED FOR WATER/WASTE PIPE AND CONDUIT.

WASTE & RECYCLING:

MATERIAL WASTAGE TO BE MINIMISED IN FITOUT BY SHOPFITTER/CONTRACTOR. LEFT-OVER FITOUT MATERIALS ARE TO BE RECYCLED BY SHOPFITTER/CONTRACTOR.

LIGHTING NOTES

LIGHTING LAYOUT TO TAKE PRECEDENCE OVER LOCATION OF OTHER SERVICES. ANY DISCREPANCIES TO BE BROUGHT TO THE ATTENTION OF GURU HOSPITALITY DESIGN BEFORE THE COMMENCEMENT OF SITE INSTALLATION.

SECURITY MONITOR EQUIPMENT & DEVICES TO BE DETERMINED BY CLIENT, ON SITE. SYSTEM TBA BY CLIENT & TO BE INSTALLED BY NOMINATED SECURITY CONTRACTOR.

PROVIDE CONCEALED FLUSH ACCESS PANELS AS REQUIRED. LOCATION AND DETAIL TO BE APPROVED BY LANDLORD.

CONTRACTOR TO ANGLE ALL LIGHT FITTINGS TOWARD WALL FIXTURES AS INDICATED ON LIGHTING CONSULTANTS PLAN PRIOR TO STORE OPENING.

SMOKE DETECTORS TO BE INSTALLED TO SUIT LIGHTING LAYOUT - BY CENTRE CONTRACTORS. SHOPFITTER TO COORDINATE CENTRE CONTRACTORS.

REFER TO LANDLORDS ENGINEERS DRAWINGS FOR MECHANICAL SERVICES.

REFER TO LANDLORDS FIRE SERVICES ENGINEER FOR SPRINKLER LAYOUT. FIRE PROTECTION SYSTEM TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA.

ALL MECHANICAL AND FIRE SERVICES WORKS TO BE INCLUDED IN CONTRACTORS SCOPE. SHOPFITTER TO COORDINATE CONTRACTORS.

ARTIFICIAL LIGHTING TO BE PROVIDED TO ALL ROOMS IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA

NEW SPEAKER SYSTEM TO BE INSTALLED IN ACCORDANCE WITH CLIENTS SPECIFICATION. BY MAIN CONTRACTOR.

CONTRACTOR TO CONFIRM HEIGHT OF CEILING TO TENANCY PRIOR TO CONSTRUCTION OF WORKS AND ADVISE CLIENT OF ANY DISCREPENCIES PRIOR TO CONSTRUCTION.

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					PROJECT: <div>THE BALKAN BUTLER</div>	STATUS: <div>DEVELOPMENT APPLICATION</div>	REVISION: <div>01</div>	
					LOCATION: <div>Lot 1, 241-243 Commonwealth Street , Surry Hills NSW 2010</div>	DRAWN BY: <div>E.T.</div>	DWG DATE: <div>-</div>	
	01					CHECKED BY: <div>S.J./D.V.</div>	SCALE: <div>AS STATED</div>	
	NO.	DATE	BY	REVISION NOTES				

ELECTRICAL NOTES

1. NECESSARY APPROVALS

OBTAIN ALL NECESSARY APPROVALS FOR THE WORKS PRIOR TO COMMENCEMENT AND PAY ALL FEES REQUIRED. ALLOW FOR AND COORDINATE STAGING OF THE WORKS, OUT OF NORMAL HOURS WORK AND POWER INTERRUPTIONS TO THE PROJECT.

2. ELECTRICAL SERVICES LAYOUT

ACCURACY OF SITE CONDITIONS SHALL BE DETERMINED VY SITE INSPECTION OR BY OTHER MEANS AS REQUIRED PRIOR TO TENDERING. ALL CONTRACTORS ARE REQUIRED TO CONTACT GURU PROJECTS DESIGN/CLIENT FOR VERBAL BRIEFING CLARIFICATIONS AND LIAISE WITH MAIN CONTRACTOR TO COORDINATE ANY SITE VISITS.

3. THE WORK

THE WORK TO BE CARRIED OUT COMPRISES THE SUPPLY, DELIVERY, INSTALLATION, TESTING, COMMISSIONING, WARRANTY AND MAINTENANCE OF THE ELECTRICAL SERVICES FOR THE PROJECT, ALONG WITH ALL MINOR INCIDENTAL WORK ASSOCIATED THERE WITH INCLUDING, BUT NOT LIMITED TO, THE FOLLOWING:

4. PERFORMANCE DESIGN CRITERIA

THE SYSTEM SHALL BE DESIGNED BASED ON THE FOLLOWING PARAMETERS:

4.1 MAXIMUM DEMAND

IN ACCORDANCE WITH THE AS3000.

4.2 VOLTAGE DROP

TO ANY POINT IN THE INSTALLATION LESS THAN 5%.
TO END OF SUBMAINS LESS THAN 3.5%.

4.3 SHORT CIRCUIT FAULT RATING

DISTRIBUTION SWITCHBOARD BUSBARS AS COMPUTED AT THE INCOMING TERMINATIONS AND LIMITED BY THE PROTECTION DEVICES ON THE MAIN SWITCHBOARD, BUT NOT LESS THAN 18KA RMS FOR 1 SEC.
DISTRIBUTION SWITCHBOARD FINAL SUBCIRCUIT PROTECTION DEVICES SHALL BE SIZED TO WITHSTAND THE COMPUTED FAULT LEVEL AT THE RESPECTIVE SWITCHBOARD BUT SHALL BE NOT LESS THAN 6KA.

4.4 EMERGENCY AND EXIT LIGHTING

DESIGNED AND INSTALLED IN ACCORDANCE WITH AS2293.1 AND MAINTAINED IN ACCORDANCE WIH AS2293.2.

4.5 LIGHTING

STANDARDS: AS1680.1, AS1680.2.0, AS1680.2.1 MINIMUM LLF:0.7 GENERALLY (TRIPHOSPHOR LAMPS) ALL WORKS SHALL COMPLY WITH THE REGULATIONS AND REQUIREMENTS OF AT LEAST THE FOLLOWING AUTHORITIES AND ANY OTHERS HAVING JURISDICTION OVER THE WORKS:
- METROPOLITAN FIRE BRIGADE.
- RELEVANT BUILDING SURVEYOR.
- ELECTRICITY SUPPLY AUTHORITIES.
- ACA.

4.6 LIGHTING FINAL SUB-CIRCUITS

TOTAL LOAD PER FINAL SUB-CIRCUIT PROTECTED BY 20A CIRCUIT BREAKER & 2.5MM + E CAB;OMG SJA;; BE 3000VAPR AS DETERMINED BY VOLTAGE DROP CALCULATION.
TOTAL LOAD PER FINAL SUB-CIRCUIT PROTECTED BY 16A CORCIOT BREALER & 2.5MM + E CABLING SHALL BE 2500VA OR AS DETERMINED BY VOLTAGE DROP CALCULATION. DIMMERS SHALL BE SIZED TO ACCOMMODATE LUMINAIRE LOADS.

4.7 DEMOLITION, TEMPORARY AND AFTER-HOURS WORKS

WHERE THE WORKS, INCLUDING AREAS ADJACENT THE MAIN WORK AREAS, REQUIRE ALTERATIONS TO EXISTING WIRING, SWITCHBOARDS, COMMUNICATIONS FRAMES, ETC. IN A MATTER SUCH THAT THE EXISTING WIRING AND CIRCUITS ARE SATISFACTORY IN EVERY PARTICULAR.

EXISTING WIRING, CONDUITS, FITTINGS, EQUIPMENT, APPARATUSAND THE LIKE IF ENCOUNTERED, OBSTRUCTED, OR DAMAGED IN THE COURSE OF THE WORK SHALL BE DEALT WITH AS FOLLOWS:

(A) IF TO REMAIN: REPAIR, DIVERT, RELOCATE AS REQUIRED TO ACHIEVE AND EQUIVALENT INSTALLATIONAS EXISTING.
(B) IF TO BE ABANDONED: UNLESS SPECIFIED OTHERWISE, DISCONNECT ELECTRICALLY AND MAKE SAFE, DISMANTLE AND REMOVE IN A NEAT WORKMANLIKE MANNER, CONSISTENT WITH MINIMISING DAMAGE TO SURFACES WHICH WOULD NEED TO BE MADE GOOD.

IN EITHER CASE, TO SATISFY THE AUTHORITIES CONCERNED AND TO APPROVAL AND WITHOUT COST VARIATION TO THE CONTRACT.

4.8 EXIT & EMERGENCY LIGHTING

REFER TO ELECTRICAL SUB CONTRACTORS DRAWINGS.

4.9 SWITCHING

THE CONTRACTOR IS REQUIRED TO SUBMIT SCHEMATICS TO THE ARCHITECT FOR REVIEW AND APPROVAL BASED ON THE FOLLOWING DESIGN PARAMETERS.

(A) ALL FITTINGS ARE TO BE SWITCHED/DIMMED VIA LIKE TYPES I.E. ALL A'S, ALL B'S, SWITCHING SYSTEM.
(B) TRAINING TO BE PROVIDED TO CLIENTS STAFF IN THE OPERATION OF THE SWITCHING SYSTEM.
(C) SWITCHING PLATES TO BE LOCATED AS SHOWN ON THE PLANS. PLATES TO BE SUBMITTED FOR APPROVAL AND SHOULD BE SILVER IN COLOUR UNLESS OTHERWISE STATED ON ARCHITECTURAL DRAWINGS.

5. BUILDING PENETRATIONS

SEAL ALL PENETRATIONS TO BCA C3.15 AND AS3000 REQUIREMENTS.

6. SAMPLES

SUBMIT SAMPLES OF ALL LUMINAIRES, SWITCHES, DIMMING PLATES, POWER OUTLETS ETC. FOR APPROVAL BY THE ARCHITECT AND CLIENT PRIOR TO ORDERING AND INSTALLATION,

7. REDUNDANT LUMINARIES & EQUIPMENT

REDUNDANT LUMINAIRES & EQUIPMENT SHALL BE RETURNED TO CLIENT UNLESS NOTED OTHERWISE. REMOVE REDUNDANT WIRING CAUSED BY ALTERATIONS TO MALL AREAS.

8. EQUIPMENT

ALL EQUIPMENT SHALL BE NEW UNLESS STATED OTHERWISE. ALL WORK TIMES AND ACCESS SHALL BE COORDINATED WITH THE ARCHITECT AND THE CONSTRUCTION MANAGER.

9. OUTLETS

ALLOW FOR MOVEMENT OF THE OUTLETS UP TO 2 METRES PRIOR TO INSTALLATION, WITHOUT COST VARIATION.

10. FLOOR CHASING, DRILLING ETC.

FLOOR CHASING, DRILLING, ETC. SHALL BE CARRIED OUT IN 'OUT OF NORMAL' HOURS TO APPROVAL.

11. RE-COMMISSIONING

RE-COMMISSION ALL ELECTRICAL SERVICES & DEMONSTRATE SATISFACTORY PERFORMANCE TO APPROVAL. PROVIDE MAINTENANCE AND WARRANTY FO RTHE DEFECTS LIABILITY PERIOD SET OUT IN THE CONTRACT.

12. MANUALS AND "AS INSTALLED" DRAWINGS

3 BUSINESS DAYS BEFORE THE DATE OF PRACTICAL COMPLETION SUPPLY 4 COPIES OF OPERATING SERVICE AND MAINTENANCE MANUALS AND CAD DISK COPIES OF "AS INSTALLED" DRAWINGS. INFORMATION SHALL BE RECORDED GENERALLY IN ACCORDANCE WITH ARCHITECTS STANDARD REQUIREMENTS, MANUALS TO INCLUDE COLOURS COPIES OF ALL LUMINAIRES, LAMP REQUIREMENTS FOR ALL LUMINAIRES, EXCEPTED LAMP LIFE AND TRADE PRICE OF LAMP SPECIFIED. ORIGINAL COPIES OF DIMING MANUALS AND CONTROL PROGRAMS ARE REQUIRED.

13. ALTERNATIVE LUMINARIES/SWITCH PLATES

(A) NO ALTERNATIVES WILL BE ACCEPTED WITHOUT THE WRITTEN APPROVAL OF ARCHITECT. COMPANY SUBMITTING ALTERNATIVES FOR REVIEW MUST SUPPLY THE FOLLOWING INFORMATION OR FITTING MAY BE REJECTED WITHOUT REVIEW.
(B) CALCULATIONS OF FITTING BEING OFFERED INCLUDING CALCULATION OF LUMINAIRES IN THE GENERAL AREA THAT EFFECT THE OVERALL CALCULATION.
© CALCULATIONS MUST BE PROVIDED/PERFORMED BY AN INDEPENDENT COMPANY WITH NO ASSOCIATION TO THE COMPANY SUBMITTING THE ALTERNATIVE FOR REVIEW OR THE MANUFACTURER OF THE FITTING BEING OFFERED.
(D) COMPANY OFFERING ALTERNATIVE MAY INCUR CHARGES FROM ARCHITECT AND/OR ENGINEER FOR THE REVIEW OF LUMINAIRES.
(F) ORIGINAL OR NOTORISED COPIES OF ALL RELEVANT APPROVALS MUST BE PROVIDED, I.E. IP RATING, C-TICK, PHOTOMETRICS, ETC.
(G) COST SAVINGS MUST BE INCLUDED WITH ANY ALTERNATIVE SUBMISSION INCLUDING UNIT RATE.

SHOULD YOU HAVE QUESTIONS IN RELATIONS OT THE ABOVE SPECIFICATION CONTRACT THE NOMINATED LIGHTING CONSULTANT.

14. ALL FITTINGS TO BE SUPPLIED AS SPECIFIED.

15. SWITCHBOARDS ARE TO BE INSTALLED IN ACCORDANCE WITH BCA-02.7

16. ALL DATA/PHONE CABLING TO BE COMPLETED TO THE AUSTRALIAN COMMUNICATIONS AND MEDIA AUTHORITY (ACMA) CABLING STANDARDS. AS/ACIF S009"2001. ALL CABLING WORK MUST BE PERFORMED OR SUPERVISED BY A PERSON WITH THE APPROPRIATE CABLING PROVIDER REGISTRATION.
- THIS STANDARD APPLIES TO THE INSTALLATIONAND MAINTENANCE OF FIXED OR CONCEALED CABLING OR EQUIPMENT THAT IS CONNECTED, OR IS CONNECTED AS FIXED OR CONCEALED CABLING.
- ALL CABLING IS TO BE CAT5 E MINIMUM, AND EACH PHONE AND DATAPOINT IS TO BE PROVIDED WITH 4 PAIR.

JOINERY NOTES

ALL DIMENSIONS TAKEN FROM FFL (FINISHED FLOOR LEVEL). ALL FIXINGS TO OPEN SHELVES AND CUPBOARDS SHALL BE ALIGNED WITHIN JOINERY & CONCEALED FROM SIGHT IN FINISHED WORKS. VENEERS & LAMINATE FINISHES TO HAVE APPROPRIATE COMPENSATORY MATERIAL TO OTHER SIDE OF BOARD. SITE SPECIFIC DIMENSIONS TAKE PRECEDENCE OVER STANDARD DETAIL DRAWINGS.

EXTERNAL CARCASE

SHALL BE CONSTRUCTED OF 16MM THICK PRELAMINATED PARTICLE BOARD AS NOTED, UNLESS OTHERWISE SPECIFIED, ALL EXPOSED EDGES TO BE LAMINATED, COLOUR/FINISH AS NOMINATED.

INTERNAL CARCASE

SHALL BE CONSTRUCTED OF 16MM THICK PRELAMINATED PARTICLE BOARD UNLESS SPECIFIED OTHERWISE INCLUDING ALL INTERNAL SURFACES & EDGES UNLESS NOTED OTHERWISE, BACKS SHALL BE CONSTRCTED OF PRELAMINATED 6MM PARTICLE BOARD WHERE LOCATED AGAINST A PARTITION. CONSTRUCT EXPOSED BACKS OF 18MM PRELAMINATED PARTICLE BOARD.

DOORS TO CUPBOARD & DRAWER FRONTS

SHALL BE CONSTRUCTED OF 16MM THICK PRELIMAINATED BOARD FOR UNDER BENCH AND OVERHEAD CUPBOARDS.

TIMBER

REFER TO FINISHES SCHEDULE FOR TIMBER FINISHING DETAILS

SHELVES

SHALL BE CONSTRUCTED OF 18MM THICK PRELAMINATED PARTICLE BOARD UP TO 800MM WIDE SPAN UNLESS NOTED OTHERWISE. AREAS OVER 800MM WIDE SPAN TO HAVE 25MM THICK PRELAMINATED PARTICLE BOARD SHELVES.

BNECHTOPS - (BACK OF HOUSE AREAS)

TO BE 32MM THICK LAMINATE PARTICLE BOARD (HMR PARTICLE BOARD IN WET AREAS) WITH EDGE AS DETAILED , UNLESS NOTED OTHERWISE. LAMINATE JOINTS AS INDICATED ON PLAN. NO OTHER JOINTS WILL BE ACCEPTED WITHOUT PRIOR APPROVAL

DRAWER LOCK (BACK OF HOUSE AREAS)

HAFELE SYMO 200 LOCKING SYSTEM, SINGLE SIDED CD CENTRAL LOCKING SYSTEM OR EQUIVALENT.

DRAWER RUNNERS (BACK OF HOUSE AREAS)

CONCEALED, METAL & FULLY EXTENSION TYPE RUNNERS TO SUIT SIZE & WEIGHT OF DRAWERS - 'HAFELE WVA' OR 'HETTICH QUADRO' OR SIMILAR APPROVED.

SHELF SUPPORT

HAFELE SHELF SUPPORTS CAT NO. 282.04.711 NICKEL PLATED FINISH.

GLAZING

GLAZING TO AS 1288.

HINGES

SHALL BE FULLY CONCEALED SELF CLOSING METAL HINGES WITH 90° OPENING - 'BLUM CLIP' OR 'HETTICH EUROMATT TOP SAFE' OR SIMILAR APPROVED.

HANDLES (BACK OF HOUSE AREAS)

CUPBOARD & DRAWER - HOWARD SILVERS 10MM DOOR PULL (128X10X35MM)
ORDER CODE: 054272 STAINLESS STEEL FINISH. CENTRED HORIZONTALLY 40MM FROM TOP EDGE ON DRAWERS. SET IN 40MM FROM TOP & SIDE EDGE OF CUPBOARDS.

DOOR CATCHES

CUPBOARDS - HAFELE TOUCH CATCH/AUTOMATIC SPRING CATCH OR EQUIVALENT CAT NO. 245.55.913 IN BRIGHT GALVANISED STEEL.

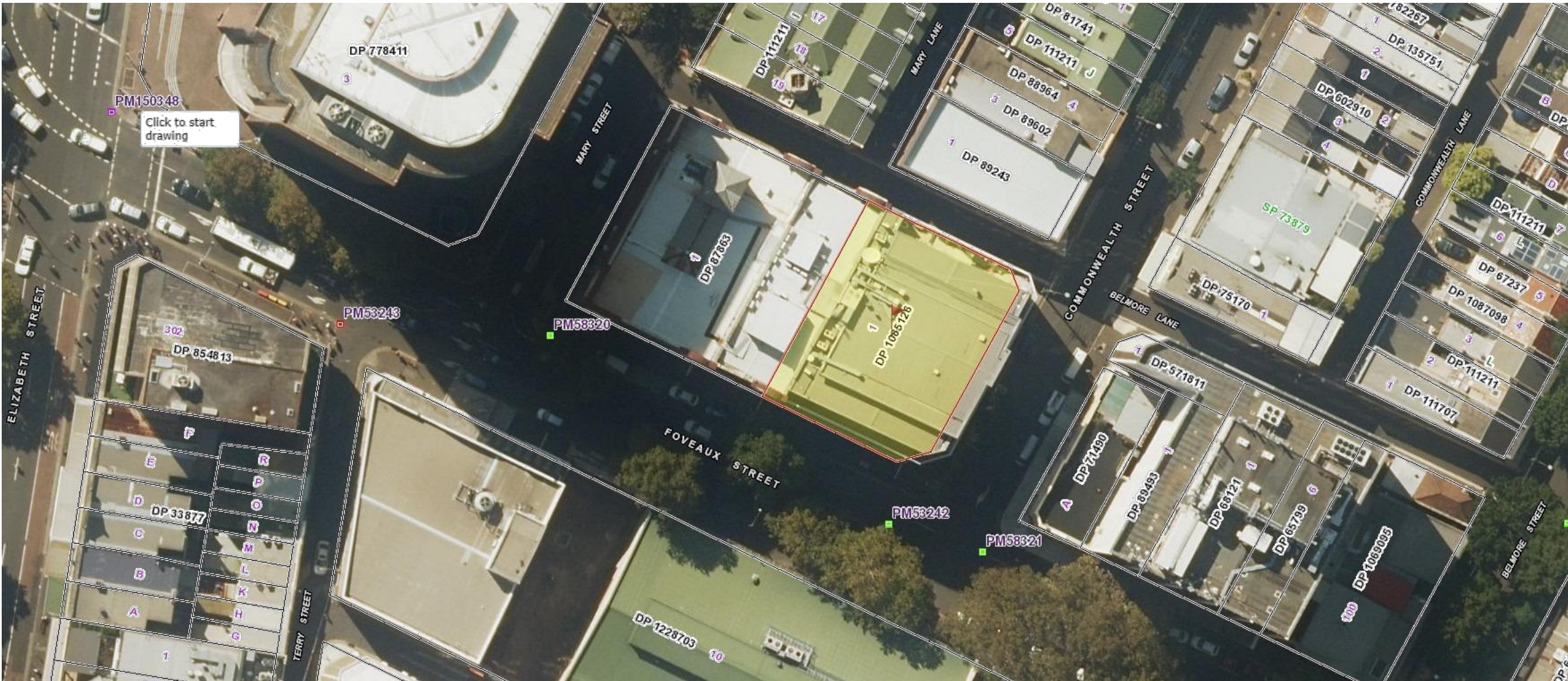
CABLE HOLES (BACK OF HOUSE AREAS)

CABLE HOLES TO BE 60MM WITH HAFELE CABLE CAP INSERT (CAT NO. 429.99.520)
COLOUR - LIGHT GREY POSITION AS INDICATED ON PLAN. CASH DRAWER PROPRIETRY DRAWER CONNECTED TO POS COMPUTER SUPPLIER TBC INSTALLED BY JOINER.

EQUIPMENT

ALL EQUIPMENT SHALL BE SUPPLIED BY CLIENT.

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						LOCATION: <div>Lot 1, 241-243 Commonwealth Street , Surry Hills NSW 2010</div>	DRAWN BY: <div>E.T.</div>	DWG DATE: <div>-</div>	
							CHECKED BY: <div>S.J./D.V.</div>	SCALE: <div>AS STATED</div>	



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					<div><div>PROJECT:</div><div>THE BALKAN BUTLER</div></div>	<div><div>STATUS:</div><div>DEVELOPMENT APPLICATION</div></div>	<div><div>REVISION:</div><div>01</div></div>				
					<div><div>LOCATION:</div><div>Lot 1, 241-243 Commonwealth Street , Surry Hills NSW 2010</div></div>	<div><div>DRAWN BY:</div><div>E.T.</div></div>	<div><div>DWG DATE:</div><div>-</div></div>				
						<div><div>CHECKED BY:</div><div>S.J./D.V.</div></div>	<div><div>SCALE:</div><div>AS STATED</div></div>				
	NO.	DATE	BY	REVISION NOTES							

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UNIT 303, 30-40 HARCOURT





PARADE,ROSEBERY NSW

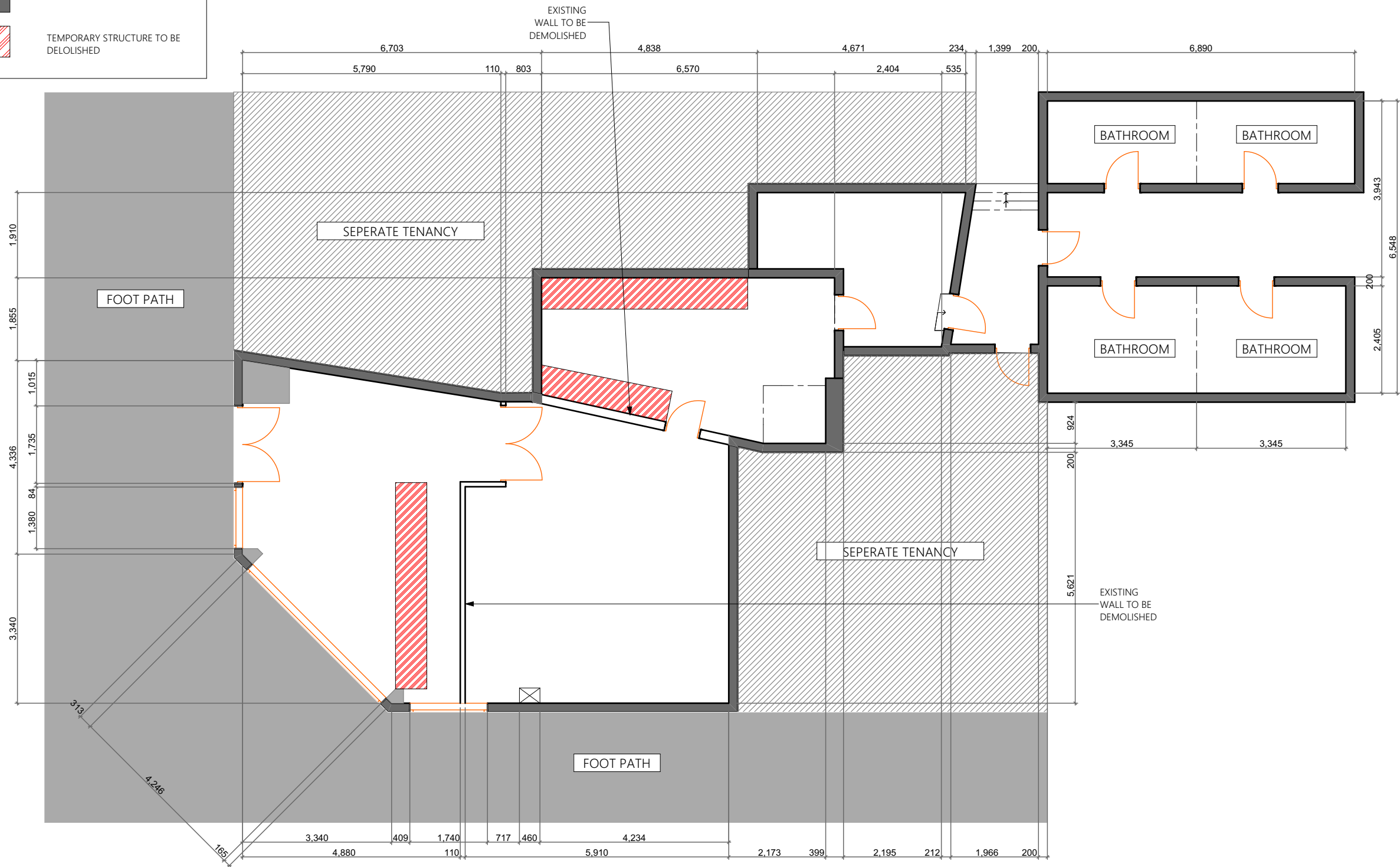
ABN: 69 600 911 082 Tel: 8338 1940

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					David Nedelkovski	FINISHES SCHEDULE	DA 04	
					PROJECT:	STATUS:	REVISION:	
					THE BALKAN BUTLER	DEVELOPMENT APPLICATION	01	
					LOCATION:	DRAWN BY:	DWG DATE:	
					Lot 1, 241-243 Commonwealth Street , Surry Hills NSW 2010	E.T.	-	
	01					CHECKED BY:	SCALE:	
	NO.	DATE	BY	REVISION NOTES		S.J./D.V.	AS STATED	

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					PROJECT: <div>THE BALKAN BUTLER</div>	STATUS: <div>DEVELOPMENT APPLICATION</div>	REVISION: <div>01</div>	
					LOCATION: <div>Lot 1, 241-243 Commonwealth Street , Surry Hills NSW 2010</div>	DRAWN BY: <div>E.T.</div>	DWG DATE: <div>-</div>	
						CHECKED BY: <div>S.J./D.V.</div>	SCALE: <div>AS STATED</div>	
	01							
	NO.	DATE	BY	REVISION NOTES				

LEGEND

CODE	DESCRIPTION
	WALL TO BE DEMOLISHED
	NEW WALL
	EXISTING WALL
	TEMPORARY STRUCTURE TO BE DELOLISHED



DA 06

EXISTING FLOOR PLAN

1:100

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01			
NO.	DATE	BY	REVISION NOTES

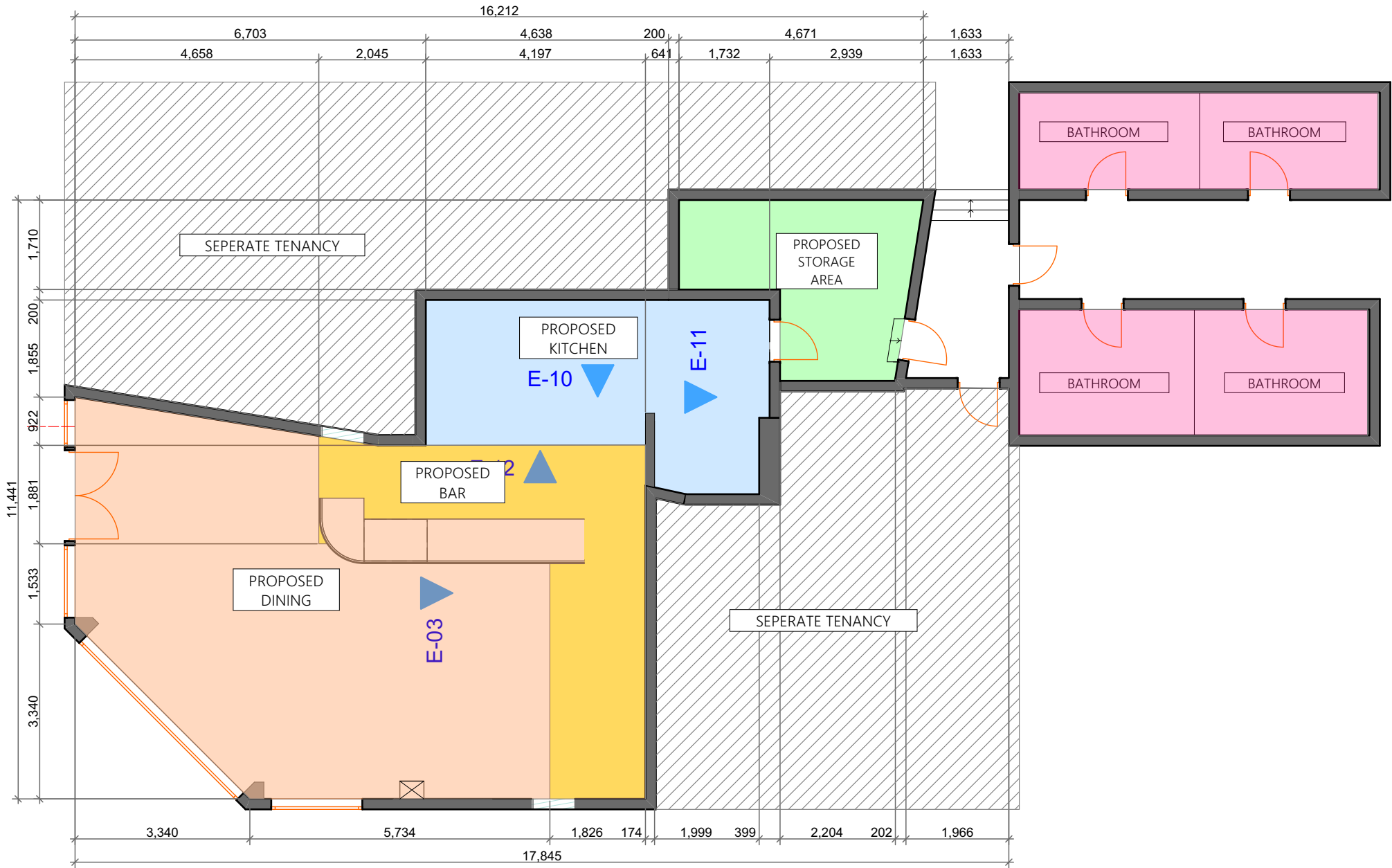
CLIENT:	David Nedelkovski	DRAWING TITLE:	EXISTING FLOOR PLAN	DRAWING NUMBER:	DA 06
PROJECT:	THE BALKAN BUTLER	STATUS:	DEVELOPMENT APPLICATION	REVISION:	01
LOCATION:	Lot 1, 241-243 Commonwealth Street , Surry Hills NSW 2010	DRAWN BY:	E.T.	DWG DATE:	-
		CHECKED BY:	S.J./D.V.	SCALE:	AS STATED

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NOTES:
EXISTING DIMENSIONS ARE APPROXIMATE ONLY.
PLEASE CHECK MEASURE AND ENSURE ALL DIMENSIONS ARE VERIFIED BEFORE FABRICATION.

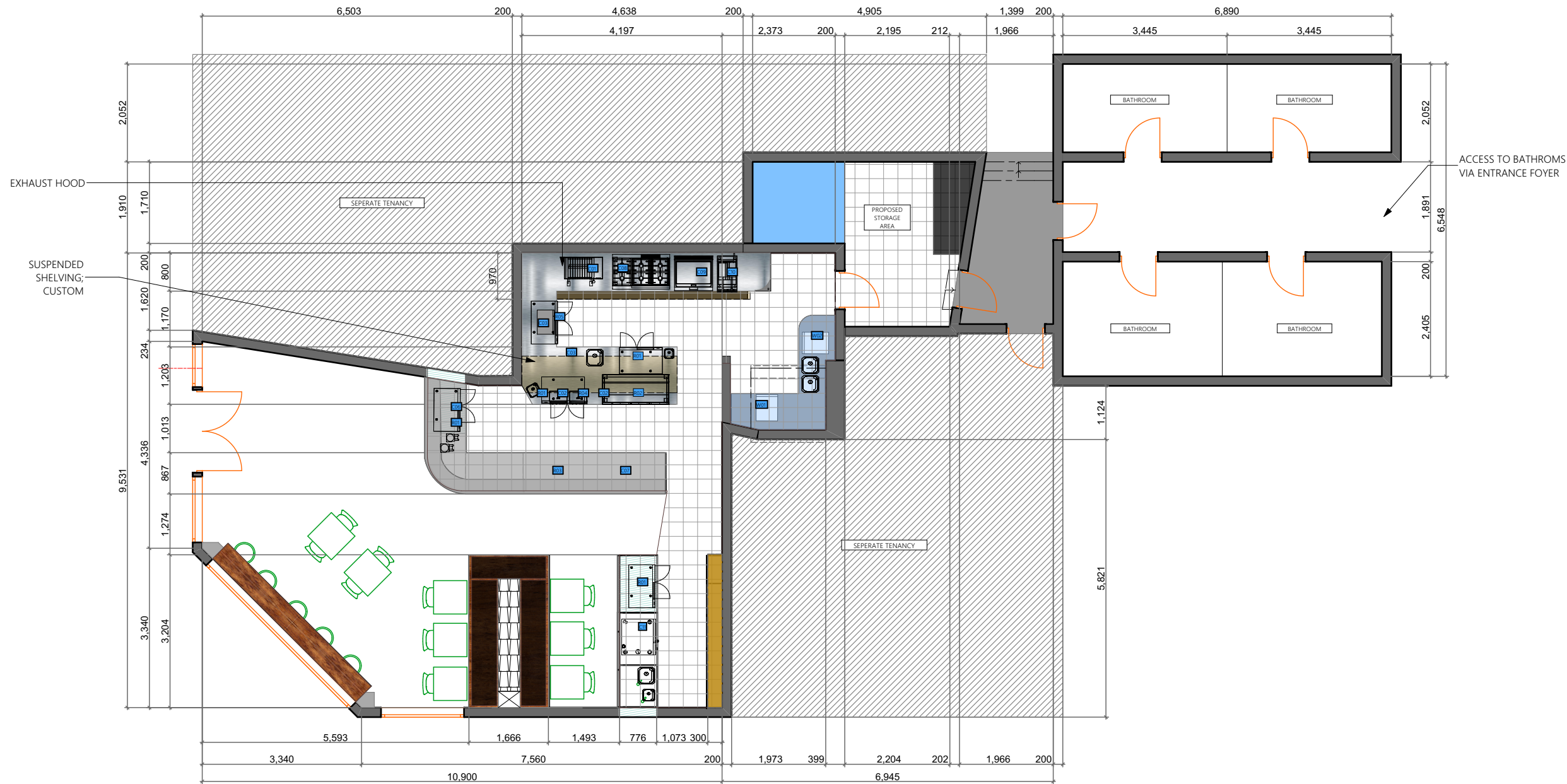
LEGEND:

- PROPOSED FRONT DINING AREA
- PROPOSED KITCHEN AREA
- PROPOSED COFFE & FOOD BAR
- EXISTING BATHROOMS



DA 07
-
SCOPE OF WORK
1:100

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				<div>PROJECT:</div> <div>THE BALKAN BUTLER</div>	<div>STATUS:</div> <div>DEVELOPMENT APPLICATION</div>	<div>REVISION:</div> <div>01</div>					
				<div>LOCATION:</div> <div>Lot 1, 241-243 Commonwealth Street , Surry Hills NSW 2010</div>	<div>DRAWN BY:</div> <div>E.T.</div>	<div>DWG DATE:</div> <div>-</div>					
					<div>CHECKED BY:</div> <div>S.J./D.V.</div>	<div>SCALE:</div> <div>AS STATED</div>					
	NO.	DATE	BY	REVISION NOTES							



EQUIPMENT LEGEND

COOKING

- C01: SALAMANDER
- C02: SANDWICH PRESS
- C03: MICROWAVE
- C04: SLOW COOKER
- C05: SOUP WARMER
- C06: COFFEE MACHINE 2 GROUP
- C07: HOT FOOD & CARVERY DISPLAY
- C08: 6 BURNER STOVE/OVEN (EXISTING)
- C09: HOT PLATE 800MM (EXISTING)
- C10: DEEP FRYER SPLIT VAN
- C11: MINI BAKERY OVEN

REFRIDGERATION

- R01: UNDERCOUNTER 2 DOOR FRIDGE
- R02: REFRIDGERATED SANDWICH DISPLAY
- R03: REFRIDGERATED & AMBIENT COMBO DISPLAY
- R04: ICE MACHINE
- R05: STAND UP FREEZER 2DOOR
- R06: DRINKS FRIDGE/DISPLAY
- R07: CUSTOM COOL ROOM

WASH & STORAGE

- W01: GLASSWASHER UNDERBENCH
- W02: DISHWASHER UNDERBENCH

MISCELANIOUS

- M01: SLICER
- M02: SPARKELING WATER & FILTERED TAP WATER
- M03: SODA STREAM
- M04: POS TERMINALS (IPAD)
- M05: MODBAR HEADS
- M06: MODBAR STEAMER WAND
- M07: MODBAR POUR OVERS
- M08: COFFEE GRINDER
- M09: BLENDER
- M10: JUICER:
- M11: HEAT LAMPS

SINKS

- S1: HAND BASIN
- S2: PREP SINK
- S3: WASH UP SINK

DA 08
-

PROPOSED FLOOR PLAN
1:100

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						PROJECT: THE BALKAN BUTLER	STATUS: DEVELOPMENT APPLICATION	REVISION: 01
						LOCATION: Lot 1, 241-243 Commonwealth Street , Surry Hills NSW 2010	DRAWN BY: E.T.	DWG DATE: -
							CHECKED BY: S.J./D.V.	SCALE: AS STATED

CODE	DESCRIPTION
10A	10 Amps SINGLE GPO ABOVE BENCH APPROX 1200AFL
10B	10 Amps SINGLE GPO BELOW BENCH APPROX 750AFL
10A	10 Amps DOUBLE GPO ABOVE BENCH APPROX 1200AFL
10B	10 Amps DOUBLE GPO BELOW BENCH APPROX 750AFL
15	15 Amps UNDER BENCH APPROX 750AFL
25	25 Amps UNDER BENCH APPROX 750AFL
32	32 Amps UNDER BENCH APPROX 750AFL
25	25 Amps THREE PHASE UNDER BENCH APPROX 750AFL
32	32 Amps THREE PHASE UNDER BENCH APPROX 750AFL
D	DATA POINT, TELEPHONE, EFTPOS










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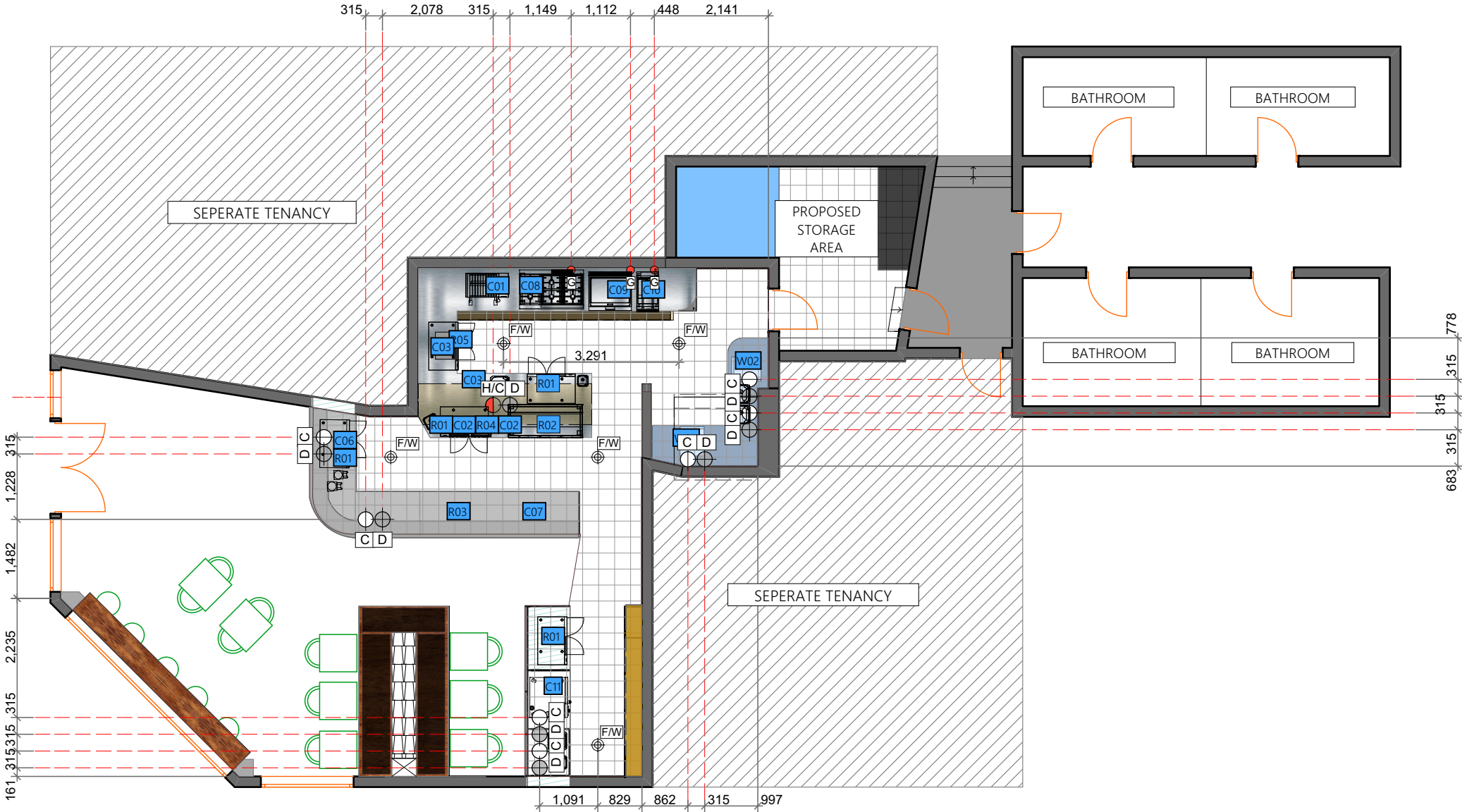
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CLIENT: David Nedelkovski	DRAWING TITLE: ELECTRICAL PLAN	DRAWING NUMBER: DA 09
PROJECT: THE BALKAN BUTLER	STATUS: DEVELOPMENT APPLICATION	REVISION: 01
LOCATION: Lot 1, 241-243 Commonwealth Street , Surry Hills NSW 2010	DRAWN BY: E.T.	DWG DATE: -
	CHECKED BY: S.J./D.V.	SCALE: AS STATED

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HYRAULIC PLAN LEGEND

CODE	DESCRIPTION
	COLD WATER CONNECTION
	HOT WATER CONNECTION
	HOT/COLD WATER CONNECTION
	GAS CONNECTION
	TUNDISH
	FLOOR WASTE
	DRAIN



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01			
NO.	DATE	BY	REVISION NOTES






CLIENT: David Nedelkovski	DRAWING TITLE: HYDRAULIC PLAN	DRAWING NUMBER: DA 10
PROJECT: THE BALKAN BUTLER	STATUS: DEVELOPMENT APPLICATION	REVISION: 01
LOCATION: Lot 1, 241-243 Commonwealth Street , Surry Hills NSW 2010	DRAWN BY: E.T.	DWG DATE: -
	CHECKED BY: S.J./D.V.	SCALE: AS STATED

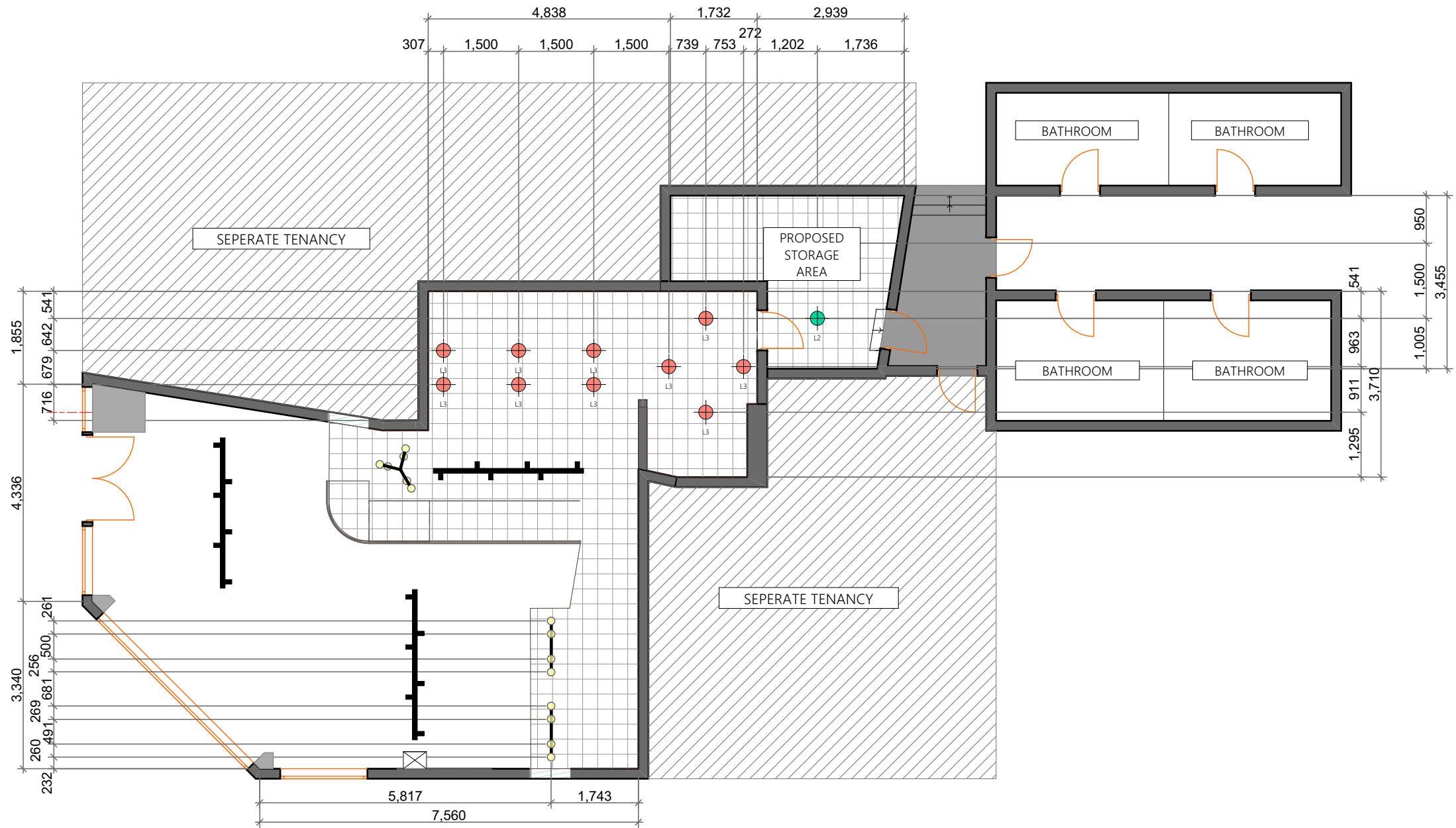
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SCOPE OF PAINT WORKS

NEW SUSPENDED CEILING IN FOH AREA TO BE PAINTED IN DULUX ASHVILLE. AIR LOCK, BATHROOMS AND KITCHEN TO BE PAINTED IN DULUX WHITE ON WHITE.

LEGEND

- 
L1
- 
L3
- 
FP1
- 
LIGHT SWITCH
- 
DIMMABLE LIGHT SWITCH
- L1 - BATHROOM WALL LIGHTS
- L3 - KITCHEN CEILING RECESSED DOWNLIGHT; SAL IP64 LED S9076
- FP1 - FEATURE PENDANTS. ON DIMMER



DA 11
-

REFLECTED CEILING PLAN
1:100

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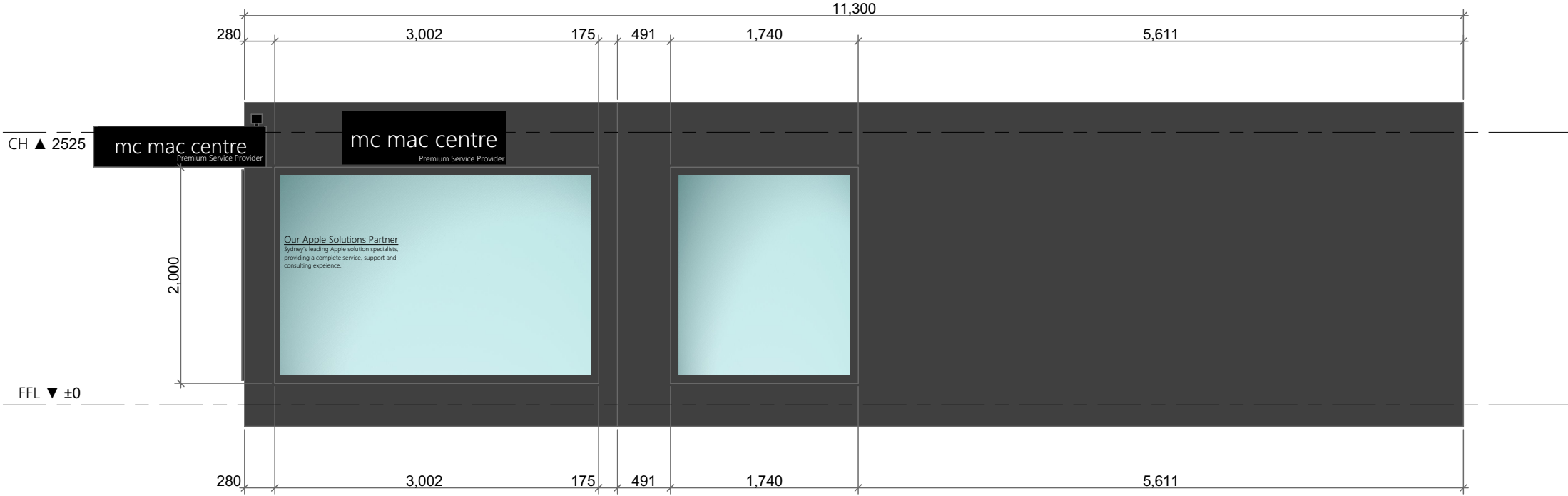
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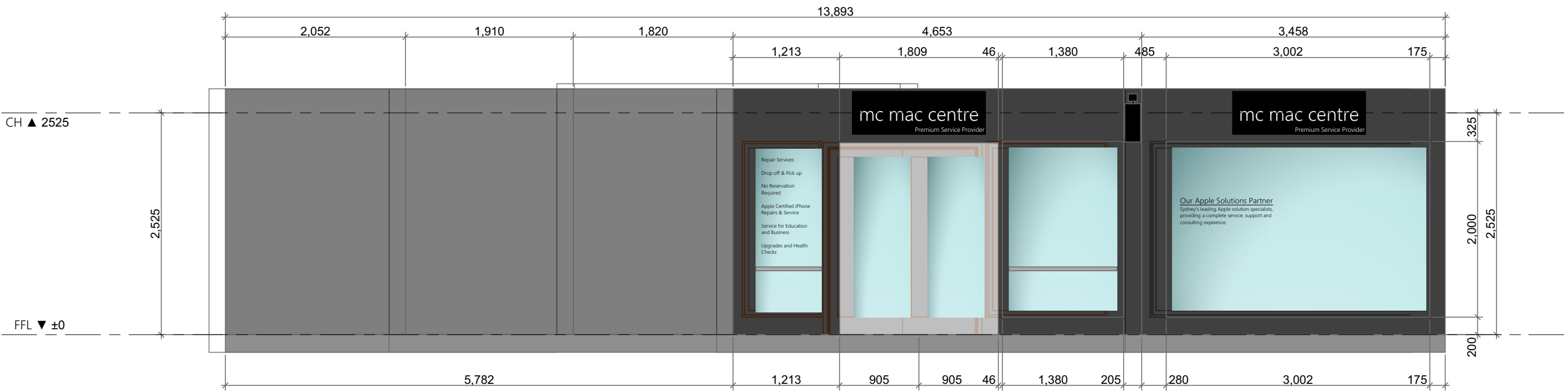
01			
NO.	DATE	BY	REVISION NOTES

CLIENT: David Nedelkovski	DRAWING TITLE: REFLECTED CEILING PLAN	DRAWING NUMBER: DA 11
PROJECT: THE BALKAN BUTLER	STATUS: DEVELOPMENT APPLICATION	REVISION: 01
LOCATION: Lot 1, 241-243 Commonwealth Street , Surry Hills NSW 2010	DRAWN BY: E.T.	DWG DATE: -
	CHECKED BY: S.J./D.V.	SCALE: AS STATED



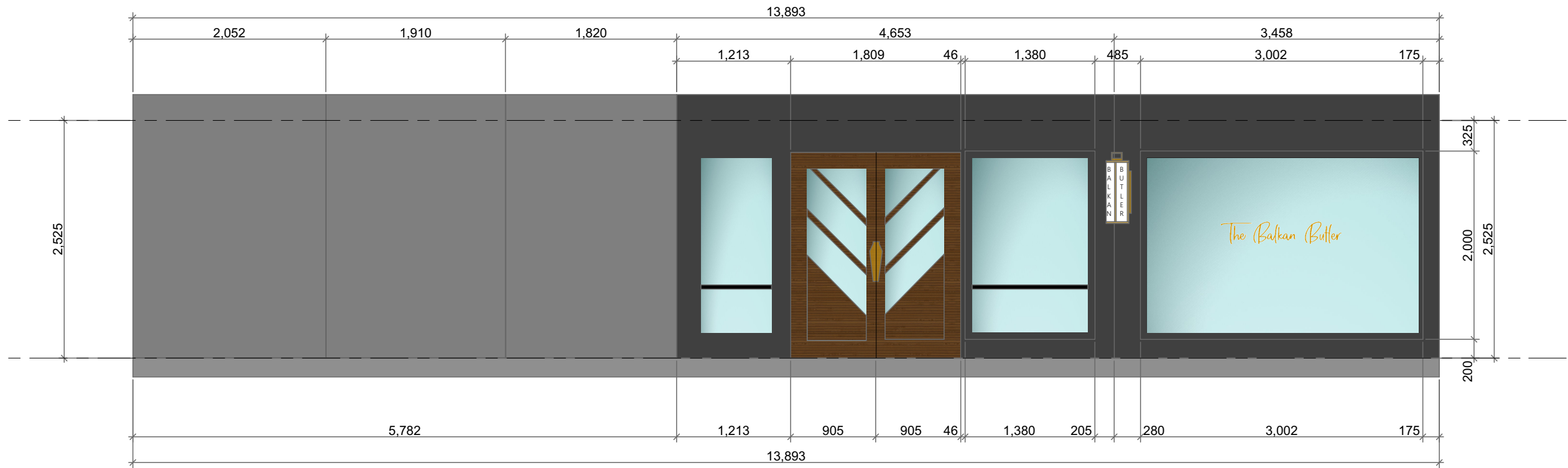
EXISTING FRONT RIGHT SIDE ELEVATION
DAEM
1:50

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					PROJECT: THE BALKAN BUTLER	STATUS: DEVELOPMENT APPLICATION	REVISION: 01	
					LOCATION: Lot 1, 241-243 Commonwealth Street , Surry Hills NSW 2010	DRAWN BY: E.T.	DWG DATE: -	
						CHECKED BY: S.J./D.V.	SCALE: AS STATED	
	NO.	DATE	BY	REVISION NOTES				



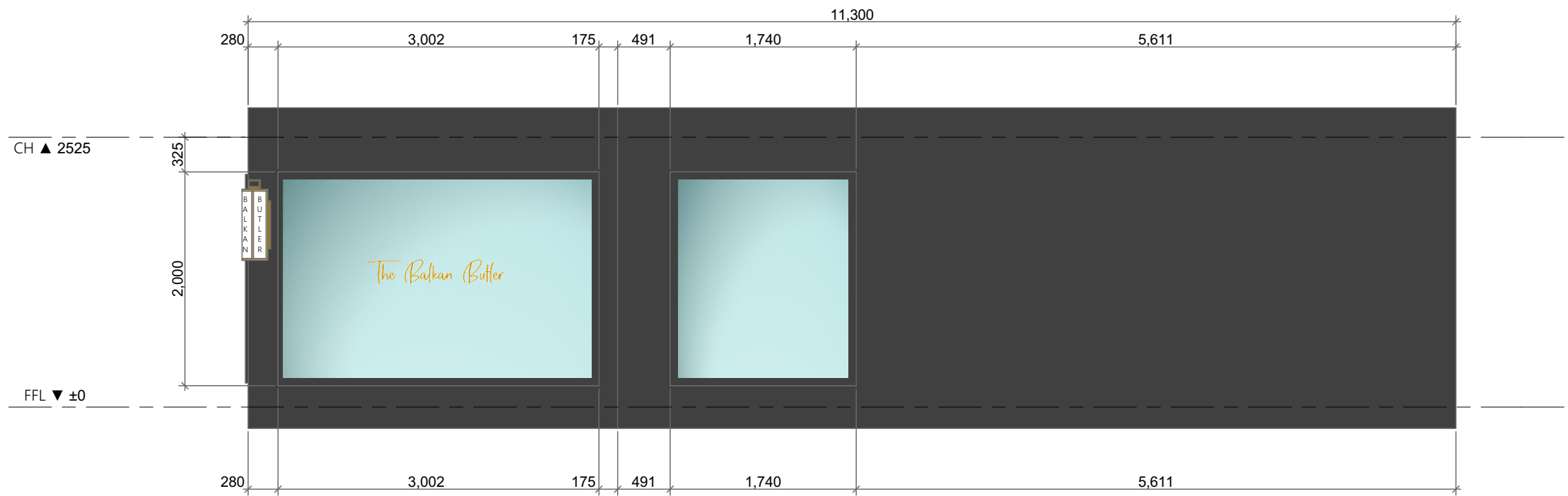
DA 13 FRONT LEFT SIDE ELEVATION
- 1:50

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					PROJECT: THE BALKAN BUTLER	STATUS: DEVELOPMENT APPLICATION	REVISION: 01	
					LOCATION: Lot 1, 241-243 Commonwealth Street , Surry Hills NSW 2010	DRAWN BY: E.T.	DWG DATE: -	
						CHECKED BY: S.J./D.V.	SCALE: AS STATED	
	01							
	NO.	DATE	BY	REVISION NOTES				



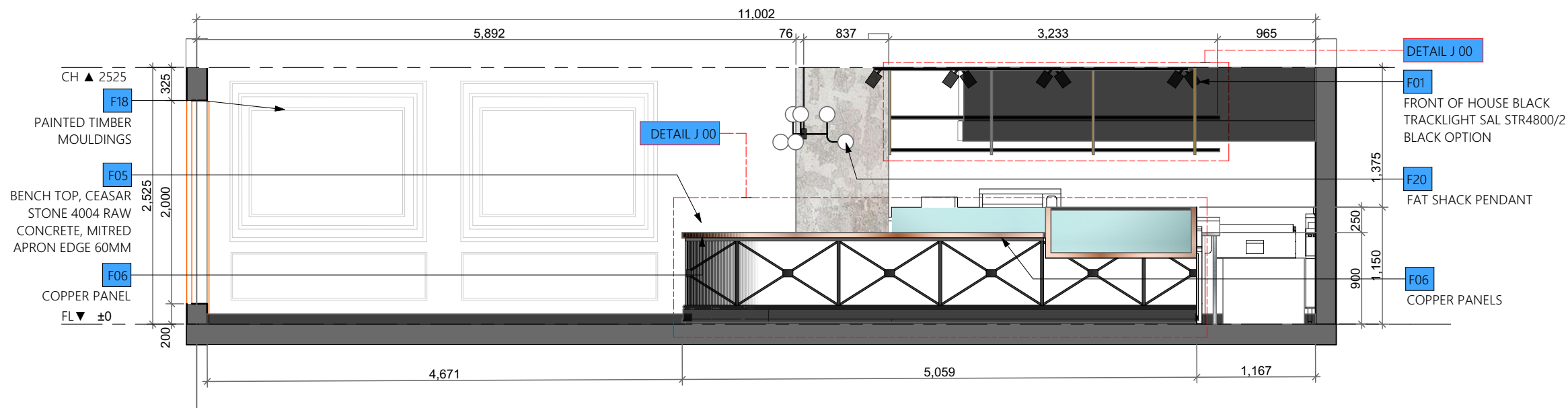
DA 14 FRONT ELEVATION B
- 1:50

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					PROJECT: THE BALKAN BUTLER	STATUS: DEVELOPMENT APPLICATION	REVISION: 01	
					LOCATION: Lot 1, 241-243 Commonwealth Street , Surry Hills NSW 2010	DRAWN BY: E.T.	DWG DATE: -	
	NO.	DATE	BY	REVISION NOTES		CHECKED BY: S.J./D.V.	SCALE: AS STATED	



DA 15 FRONT ELEVATION A
- 1:50

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					PROJECT: THE BALKAN BUTLER	STATUS: DEVELOPMENT APPLICATION	REVISION: 01	
					LOCATION: Lot 1, 241-243 Commonwealth Street , Surry Hills NSW 2010	DRAWN BY: E.T.	DWG DATE: -	
						CHECKED BY: S.J./D.V.	SCALE: AS STATED	
	01							
	NO.	DATE	BY	REVISION NOTES				



DA 14 DINING ELEVATION A
1:50

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NO.

DATE

BY

REVISION NOTES

CLIENT:

David Nedelkovski

PROJECT:

THE BALKAN BUTLER

LOCATION:

Lot 1, 241-243 Commonwealth Street , Surry Hills NSW 2010

DRAWING TITLE:

DINING ELEVATION A

STATUS:

DEVELOPMENT APPLICATION

DRAWN BY:

E.T.

CHECKED BY:

S.J./D.V.

DRAWING NUMBER:

DA 16

REVISION:

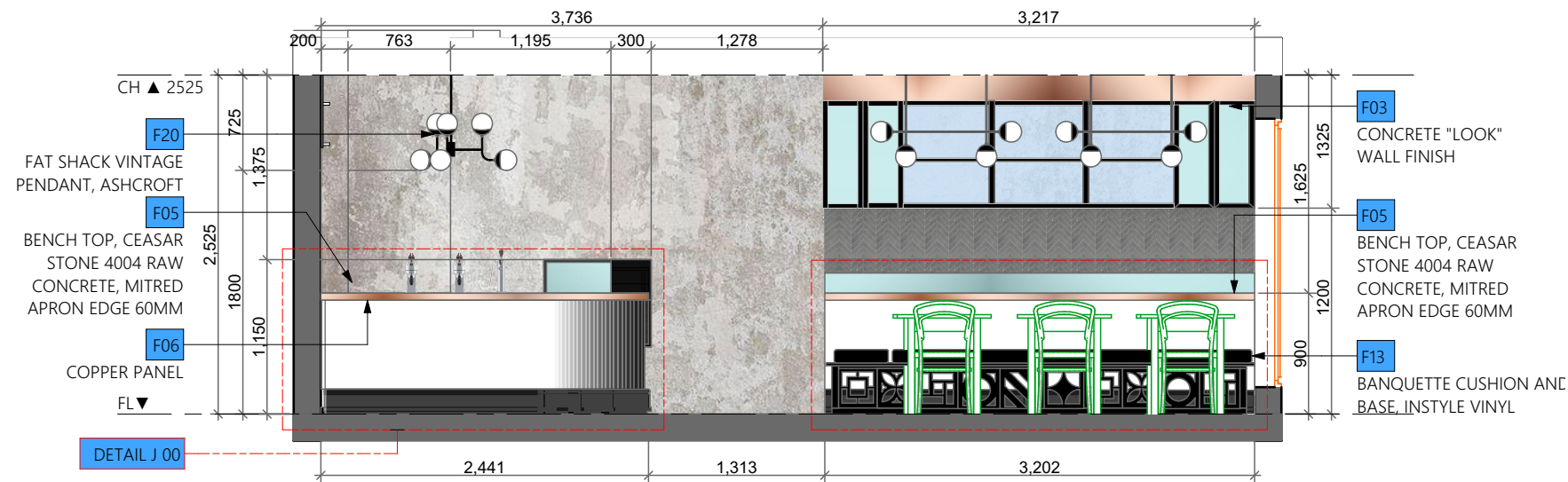
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DWG DATE:

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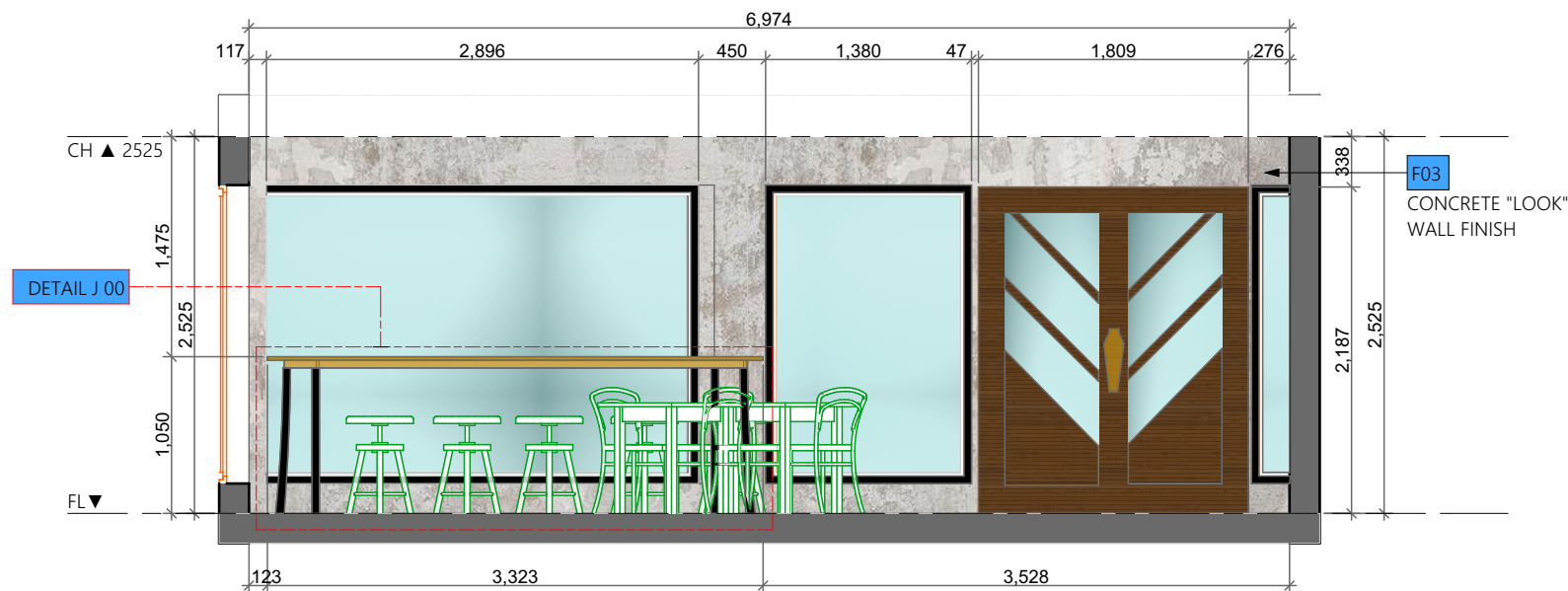
SCALE:

AS STATED



E-06
-

DINING ELEVATION B
1:50



2
-

DINING ELEVATION C
1:50

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DATE

BY

REVISION NOTES

CLIENT:

David Nedelkovski

PROJECT:

THE BALKAN BUTLER

LOCATION:

Lot 1, 241-243 Commonwealth Street, Surry Hills NSW 2010

DRAWING TITLE:

DINING ELEVATION B & C

STATUS:

DEVELOPMENT APPLICATION

DRAWN BY:

E.T.

CHECKED BY:

S.J./D.V.

DRAWING NUMBER:

DA 17

REVISION:

01

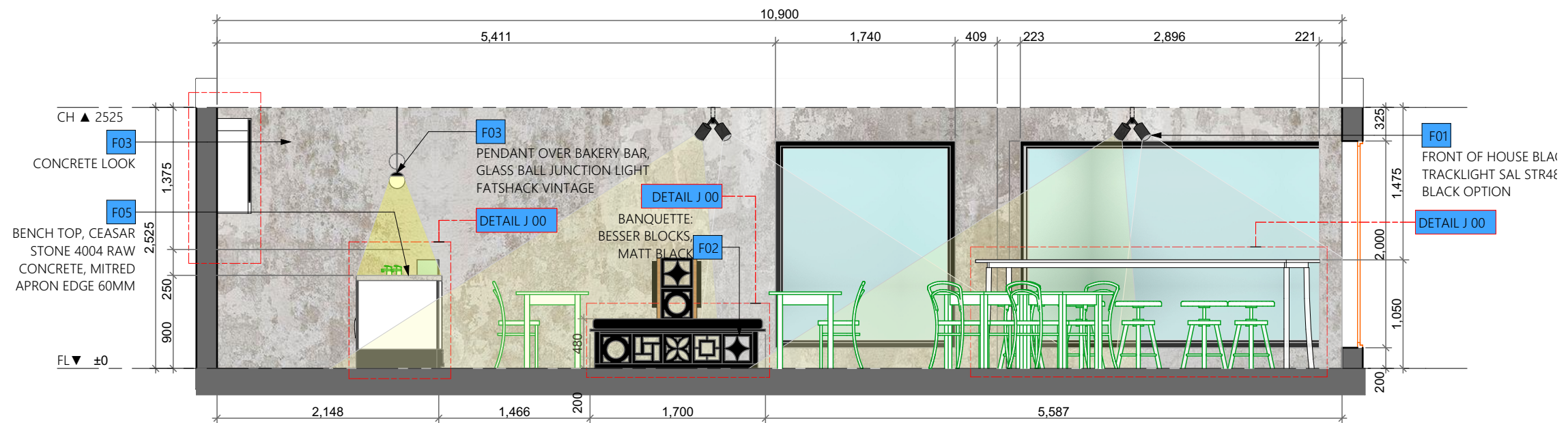
DWG DATE:

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SCALE:

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DA 18 DINING ELEVATION D
- 1:50

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BY

REVISION NOTES

CLIENT:

David Nedelkovski

DRAWING TITLE:

DINING ELEVATION D

DRAWING NUMBER:

DA 18

PROJECT:

THE BALKAN BUTLER

STATUS:

DEVELOPMENT APPLICATION

REVISION:

01

LOCATION:

Lot 1, 241-243 Commonwealth Street, Surry Hills NSW 2010

DRAWN BY:

E.T.

CHECKED BY:

S.J./D.V.

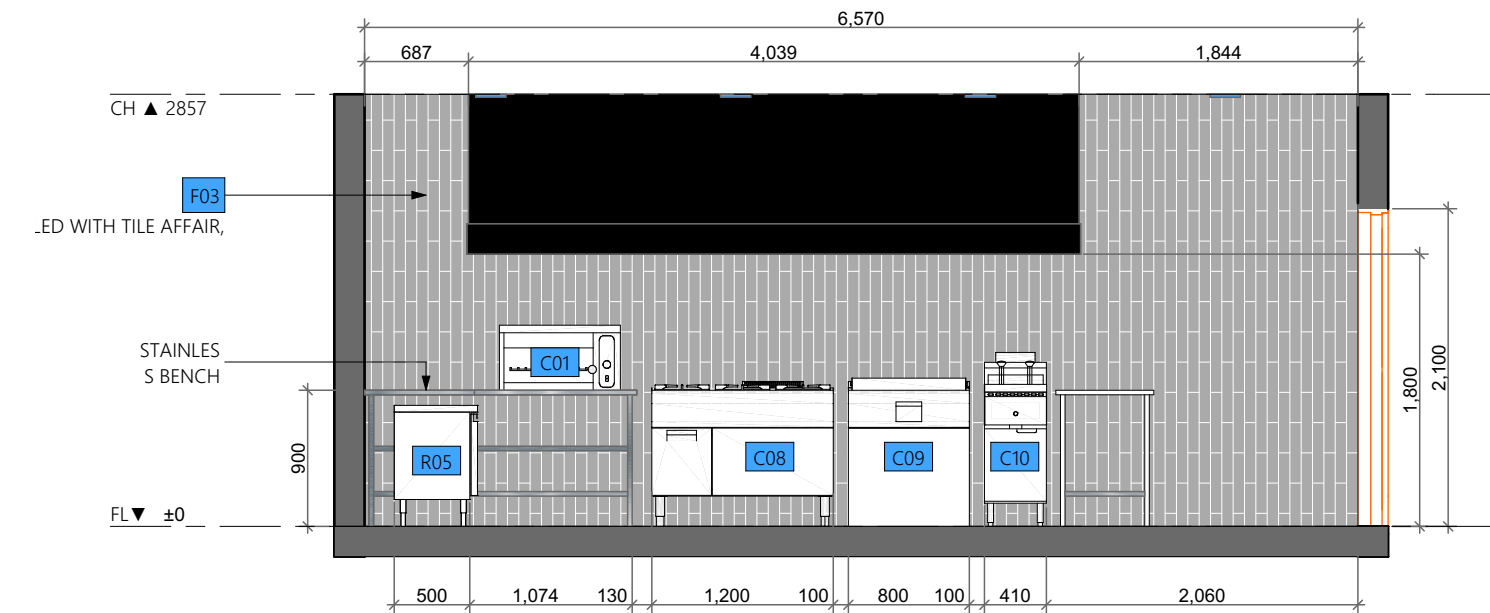
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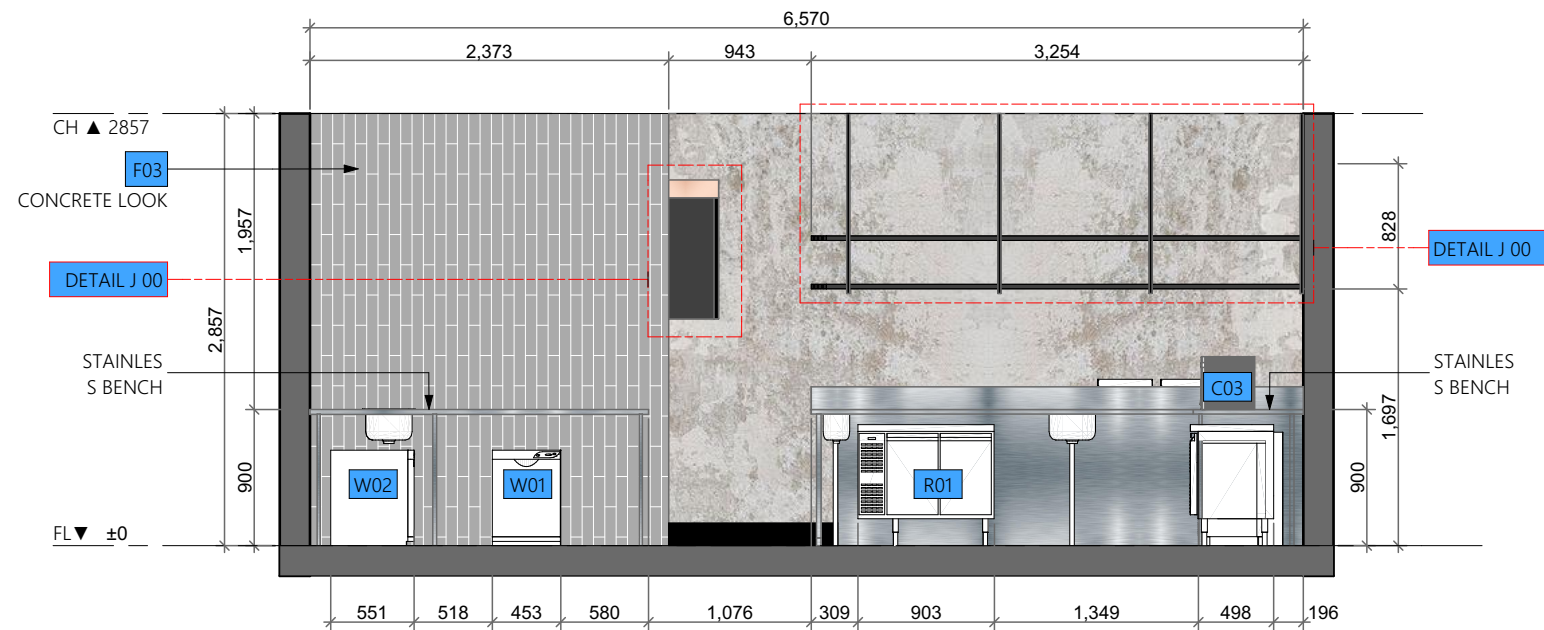
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PARADE, ROSEBERY NSW
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1
-
KITCHEN ELEVATION A
1:50



2
-
KITCHEN ELEVATION B
1:50

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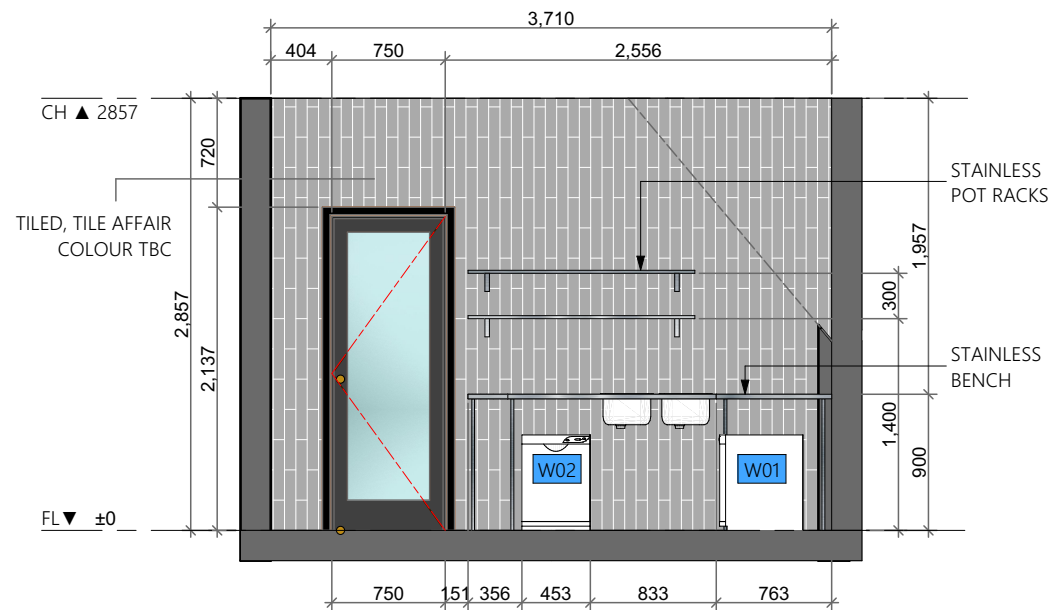
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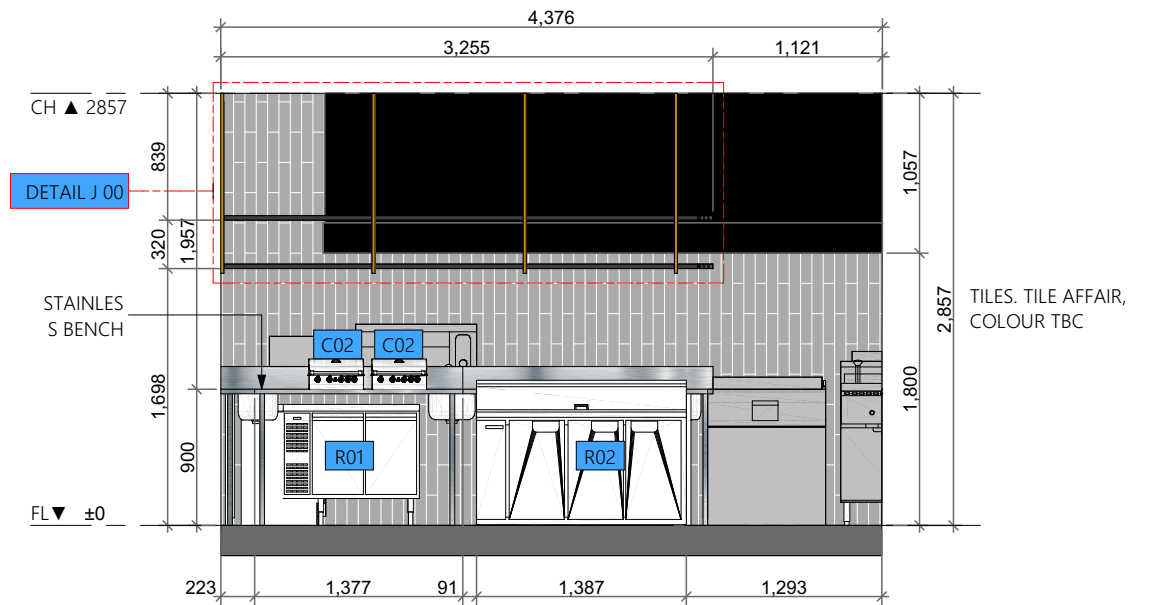
01			
NO.	DATE	BY	REVISION NOTES

CLIENT:	DRAWING TITLE:	DRAWING NUMBER:
David Nedelkovski	KITCHEN ELEVATION A&B	DA 19
PROJECT:	STATUS:	REVISION:
THE BALKAN BUTLER	DEVELOPMENT APPLICATION	01
LOCATION:	DRAWN BY:	DWG DATE:
Lot 1, 241-243 Commonwealth Street , Surry Hills NSW 2010	E.T.	-
	CHECKED BY:	SCALE:
	S.J./D.V.	AS STATED

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1
-
KITCHEN ELEVATION C
1:50



2
-
KITCHEN ELEVATION D
1:50

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NO.	DATE	BY	REVISION NOTES

CLIENT: David Nedelkovski	DRAWING TITLE: KITCHEN ELEVATION C&D	DRAWING NUMBER: DA 20
PROJECT: THE BALKAN BUTLER	STATUS: DEVELOPMENT APPLICATION	REVISION: 01
LOCATION: Lot 1, 241-243 Commonwealth Street , Surry Hills NSW 2010	DRAWN BY: E.T.	DWG DATE: -
	CHECKED BY: S.J./D.V.	SCALE: AS STATED

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