

GENERAL NOTES

THIS SHEET MUST BE CIRCULATED WITH ALL ISSUED DOCUMENTATION.

THE INFORMATION CONTAINED WITHIN THIS DOCUMENTATION IS TO THE BEST OF OUR KNOWLEDGE ACCURATE AND CORRECT. HOWEVER ALL INFORMATION IS INDICATIVE AND EXACT DIMENSIONS, SPECIFICATIONS, AND OTHER RELEVANT INFORMATION SHOULD BE SOUGHT FROM THE APPROPRIATE SOURCE.

IF IN DOUBT, ASK.

IT IS THE RESPONSIBILITY OF THE MAIN CONTRACTOR TO COORDINATE ALL SUB TRADES TO ENSURE DETAILS PERFORM AS INTENDED. IT IS ALSO THE RESPONSIBILITY OF THE MAIN CONTRACTOR TO COORDINATE ALL PROPRIETARY ITEMS TO ENSURE DETAILS PERFORM AS INTENDED.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE EXACT STRUCTURAL DETAILS AND SECURE STRUCTURAL ENGINEER'S CERTIFICATION FOR ALL STRUCTURAL WORKS INCLUDING (BUT NOT LIMITED TO) GLAZING, SIGNAGE, HANGING FIXTURES AND ALL BUILT ELEMENTS.

IT IS THE RESPONSIBILITY OF THE MAIN CONTRACTOR TO SECURE ALL REQUIRED CERTIFICATIONS TO ENABLE RELEASE OF THE OCCUPATION CERTIFICATE. IT IS ALSO THE RESPONSIBILITY OF THE MAIN CONTRACTOR TO CORRESPOND WITH THE COUNCIL OR PRINCIPLE CERTIFYING AUTHORITY AS REQUIRED TO SECURE THE RELEASE OF THE OCCUPATION CERTIFICATE.

ALL DIMENSIONS TO BE VERIFIED ON SITE BY CONTRACTOR PRIOR TO CONSTRUCTION - DO NOT SCALE.

CONTRACTOR TO LIAISE WITH ELECTRICAL CONTRACTORS TO ENSURE ALL POWER, DATA, COMMUNICATION REQUIREMENTS ARE APPROPRIATE AND ACCESSIBLE. CONTRACTOR TO LIAISE WITH THIRD PARTY SUPPLIERS TO ONFIRM EXACT REQUIREMENTS.

CONTRACTOR TO ENSURE CONSISTENCY BETWEEN SIMILAR MATERIALS IS MAINTAINED. CONTRACTOR TO NOTIFY DESIGNER/CLIENT OF ANY DISCREPANCIES, DIMENSIONAL INCONSISTENCIES OR THE NEED FOR CLARIFICATION PRIOR TO MANUFACTURE/CONSTRUCTION.

CONTRACTOR TO CONFIRM STABILITY AND FEASIBILITY OF ALL UNITS/COMPONENTS PRIOR TO MANUFATURE.

IF IN DOUBT OF SUPPLY RESPONSIBILITY ALLOW FOR BY SHOPFITTER AND SEEK CLARIFICATION.

FOR FINISHES SPECIFICATION REFER TO FINISHES SCHEDULE.

DESIGNER/CLIENT TO APPROVE ALL CONTRACTORS DETAILED DRAWINGS AND SET OUT PRIOR TO CONSTRUCTION.

CONSTRUCTION SHALL BE OF CONTRACT QUALITY. ANY COST VARIATIONS MUST BE APPROVED BY CLIENT PRIOR TO EXECUTION BY SHOPFITTER.

NON APPROVED COST VARIATIONS WILL NOT BE MET.

ANY AS BUILT DRAWING REQUIREMENT IS TO BE MET BY MAIN CONTRACTOR.

ALL PIPES, CONDUITS AND REFRIGERATION CONDENSATE PIPES SHOULD BE CONCEALED OUT OF CUSTOMER SITE AND SHOULD BE CHASED IN WALLS, FLOORS, PLINTHS OR CEILINGS AND COMPLY WITH ALL REQUIRED STANDARDS.

WHERE FITTINGS ARE BUTT JOINED TOGETHER, THEY MUST BE SEALED TO ELIMINATE ANY CAVITIES OR CREVICES. ALTERNATIVELY A CLEAR SPACE OF AT LEAST 75MM IS TO BE PROVIDED BETWEEN FITTINGS.

SHOPFITTER TO PROVIDE APPROPRIATE & APPROVED CUTOUTS IN BENCHING AND FIXTURES AS REQUIRED TO ALLOW FOR CABLE ACCESS.

ALL FITTINGS, MECHANISMS & EQUIPMENT SHALL BE INSTALLED AS PER MANUFACTURERS RECOMMENDATIONS & INSTRUCTIONS.

SHOPFITTER SHALL REQUEST TO BE FREE ISSUED WITH EQUIPMENT SUCH AS POS EQUIPMENT ETC TO ENSURE FIXTURES ARE MANUFACTURED TO SUIT.

UNLESS NOTED OTHERWISE ALL FIXINGS ARE TO BE CONCEALED. CONTRACTOR TO ENSURE SAFETY, STABILITY AND SUITABILITY OF ALL CONSTRUCTION AND FIXINGS.

GENERAL BCA COMPLIANCE

ALL WORK TO BE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA (BCA), ALL RELEVANT AUSTRALIAN STANDARDS, THE CODE FOR THE FITOUT OF FOOD PREMISES, STATUTORY REGULATIONS, LOCAL AUTHORITY REQUIREMENTS AND ALL CONDITIONS OF COUNCIL'S OR PCA'S DEVELOPMENT/PLANNING CONSENT AND THE CONDITIONS OF THE CONSTRUCTION CERTIFICATE/ BUILDING PERMIT.

ACCESS FOR PEOPLE WITH DISABILITIES TO BE IN ACCORDANCE WITH BCA CLAUSE PART D3 AND AS1428.1

ALL WORK TO COMPLY WITH BCA PART C1 FIRE RESISTANCE AND STABILITY. FIRE INDICES OF MATERIALS, LININGS AND SURFACE FINISHES TO COMPLY WITH SPECIFICATIONS C1.10 AND C1.10A OF THE BUILDING CODE OF AUSTRALIA. AT COMPLETION OF THE PROJECT CERTIFICATES ARE TO BE SUBMITTED BY THE CONTRACTOR DETAILING COMPLIANCE WITH THIS SPECIFICATION.

OPENINGS IN FLOORS, SHAFTS, OPENINGS FOR SERVICE INSTALLATIONS, AND CONSTRUCTION JOINTS WILL BE PROTECTED IN ACCORDANCE WITH C3 OF THE BCA. ALL FLOOR PENETRATIONS TO BE TREATED IN ACCORDANCE WITH CLAUSE C3.15 OF THE BUILDING CODE OF AUSTRALIA IN ORDER TO MAINTAIN THE FIRE RESISTANCE LEVEL OF THE EXISTING FLOOR. ALL OPENINGS TO BE VERMIN PROOF.

THE PROVISIONS FOR EGRESS WILL COMPLY WITH PART D1 OF THE BCA. ALL REQUIRED EXIT DOORS WILL HAVE AN UNOBSTRUCTED HEIGHT OF 1,980MM AND AN UNOBSTRUCTED WIDTH OF 800MM IN ACCORDANCE WITH CLAUSE D1.6 OF THE BCA. THE UNOBSTRUCTED WIDTH IN THE REQUIRED EXISTS AND IN THE PATHS OF TRAVEL TO THE REQUIRED EXISTS, EXCEPT FOR DOORWAYS, WILL BE NOT LESS THAN 1M.

ALL ELECTRICITY/DISTRIBUTION BOARDS, OR CENTRAL, TELECOMMUNICATION DISTRIBUTION BOARDS LOCATED IN THE PATHS OF TRAVEL, WILL BE ENCLOSED IN NON-COMBUSTIBLE CONSTRUCTION OR A FIRE PROTECTIVE COVERING, WITH DOORS PROVIDED WITH SMOKE SEALS IN ACCORDANCE WITH CLAUSE D2.7 OF THE BCA.

REQUIRED EXIT DOORS WILL BE READILY OPENABLE WITHOUT A KEY FROM THE SIDE THAT FACES A PERSON SEEKING EGRESS, BY A SINGLE HANDED DOWNWARD ACTION ON A SINGLE DEVICE WHICH IS LOCATED BETWEEN 900MM AND 1.2M ABOVE THE FLOOR, IN ACCORDANCE WITH CLAUSE D2.21 OF THE BCA. SPRINKLER LOCATIONS TO BE ALTERED TO SUIT THE NEW DESIGN AS REQUIRED IN ACCORDANCE WITH BCA CLAUSE E1.5

SNOKE HAZARD MANAGEMENT SYSTEMS TO BE ALTERED TO SUIT THE NEW DESIGN AS REQUIRED IN ACCORDANCE WITH BCA CLAUSE E2.2. AT THE COMPLETION OF THE BUILDING PROJECT, CERTIFICATES CERTIFYING THAT ALL FIRE SAFETY MEASURES HAVE BEEN DESIGNED AND INSTALLED IN ACCORDANCE WITH THE REQUIRED STANDARDS TO BE PROVIDED BY SUITABLE QUALIFIED PERSONS.

EMERGENCY LIGHTING TO BE PROVIDED IN ACCORDANCE WITH CLAUSES E4.2 AND E4.4 OF THE BCA AS AS2293.1 - 2005.

EXIT SIGNS AND EMERGENCY LIGHTS TO BE PROVIDED IN ACCORDANCE WITH CLAUSES E4.5, E4.6 AND E4.8 OF THE BCA AND AS2293.1 - 2005. EWIS LOCATIONS ARE TO BE ALTERED TO SUIT THE DESIGN AS REQUIRED IN ACCORDANCE WITH BCA CLAUSE E4.9.

VENTILATION TO BE PROVIDED IN ACCORDANCE WITH PART F4 OF THE BCA AND AS1668.1-1998 AND AS1668.2-1991. ENERGY EFFICIENCY OF AIR CONDITIONING AND VENTALIATION TO BE IN ACCORDANCE WITH PART J5 OF THE BCA. ARTIFICIAL LIGHT AND ENERGY EFFICIENCY TO BE PROVIDED IN ACCORDANCE WITH PART F4.4 AND SECTION J6 OF THE BCA.

HOT WATER SERVICE TO BE PROVIDED IN ACCORDANCE WITH SECTION J7.2 OF THE BCA.

BCA PART J COMPLIANCE REQUIREMENTS:

LIGHTING & EQUIPMENT

LOW VOLTAGE LIGHTING MUST HAVE ELECTRONIC CONTROL GEAR. MOTION SENSORS ON LIGHTING CIRCUITS TO STORE AND BACK OF HOUSE ROOMS. EMERGENCY AND EXIT LIGHTING CIRCUITS TO STORE AND BACK OF HOUSE ROOMS. ALL EQUIPMENT SPECIFIED MUST MEET MEPS REQUIREMENTS. ALL REFRIGERATION IS CERTIFIED WITH A MINIMUM 4 STAR ENERGY RATING. INSULATION REQUIRED TO HOT AND COLD FOOD CASES AND WATER HEATERS. ALL WHITE GOODS USED TO BE 4 STAR RATING OR HIGHER. TIMERS TO LIGHTING AND EQUIPMENT ALLOWING SWITCH-OFF AFTER TRADING HOURS. LCD TO BE SPECIFIED AS A SUBSTITUTE FOR PLASMA SCREENS DIMMING SWITCHES ARE SPECIFIED FOR GENERAL LIGHTING WHERE POSSIBLE.

WATER USAGE

PLUMBING ITEMS TO ACHIEVE A HIGH WELS RATING 6 STAR FOR TAPS AND FLOW CONTROLLERS 4 STAR FOR DISHWASHING MACHINES. 4 STAR FOR LAVATORY EQUIPMENT . WATERLESS URINALS WHERE REQUIRED. 3 STAR SHOWERS TRIGGER NOZZLES TO ALL WASH-DOWN EQUIPMENT. AIR COOLED ICE MACHINE SUBSTITUTED FOR WATER COOLED WHERE POSSIBLE. WATERLESS WOK COOKING SYSTEM SPECIFIED IF REQUIRED.

MATERIALS

GREEN FIRST LAMINEX PRODUCTS SOURCED. FSC CERTIFIED TIMBER VENEERS OR TIMBER PRODUCTS SOURCED. LOW VOC PRODUCTS (EG. PAINT) SOURCED. MDF AND PARTICLE BOARD PRODUCTS MUST BE E0 RATED. FIXTURES AND MATERIALS SOURCED AND USED TO MINIMISE WASTAGE. HIGH DENSITY POLYETHYLENE MATERIALS SPECIFIED FOR WATER/WASTE PIPE AND CONDUIT.

WASTE & RECYCLING:

MATERIAL WASTAGE TO BE MINIMISED IN FITOUT BY SHOPFITTER/CONTRACTOR. LEFT-OVER FITOUT MATERIALS ARE TO BE RECYCLED BY SHOPFITTER/CONTRACTOR.

LIGHTING NOTES

LIGHTING LAYOUT TO TAKE PRECEDENCE OVER LOCATION OF OTHER SERVICES. ANY DISCREPANCIES TO BE BROUGHT TO THE ATTENTION OF GURU HOSPITALITY DESIGN BEFORE THE COMMENCEMENT OF SITE INSTALLATION.

SECURITY MONITOR EQUIPMENT & DEVICES TO BE DETERMINED BY CLIENT, ON SITE. SYSTEM TBA BY CLIENT & TO BE INSTALLED BY NOMINATED SECURITY CONTRACTOR.

PROVIDE CONCEALED FLUSH ACCESS PANELS AS REQUIRED. LOCATION AND DETAIL TO BE APPROVED BY LANDLORD.

CONTRACTOR TO ANGLE ALL LIGHT FITTINGS TOWARD WALL FIXTURES AS INDICATED ON LIGHTING CONSULTANTS PLAN PRIOR TO STORE OPENING.

SMOKE DETECTORS TO BE INSTALLED TO SUIT LIGHTING LAYOUT - BY CENTRE CONTRACTORS. SHOPFITTER TO COORDINATE CENTRE CONTRACTORS.

REFER TO LANDLORDS ENGINEERS DRAWINGS FOR MECHANICAL SERVICES.

REFER TO LANDLORDS FIRE SERVICES ENGINEER FOR SPRINKLER LAYOUT. FIRE PROTECTION SYSTEM TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA.

ALL MECHANICAL AND FIRE SERVICES WORKS TO BE INCLUDED IN CONTRACTORS SCOPE. SHOPFITTER TO COORDINATE CONTRACTORS.

ARTIFICIAL LIGHTING TO BE PROVIDED TO ALL ROOMS IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA

NEW SPEAKER SYSTEM TO BE INSTALLED IN ACCORDANCE WITH CLIENTS SPECIFICATION. BY MAIN CONTRACTOR.

CONTRACTOR TO CONFIRM HEIGHT OF CEILING TO TENANCY PRIOR TO CONSTRUCTION OF WORKS AND ADVISE CLIENT OF ANY DISCREPENCIES PRIOR TO CONSTRUCTION.

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						CHECKED BY:	SCALE:	
						S.J./D.V.	AS STATED	

ELECTRICAL NOTES

1. NECESSARY APPROVALS

OBTAIN ALL NECESSARY APPROVALS FOR THE WORKS PRIOR TO COMMENCEMENT AND PAY ALL FEES REQUIRED. ALLOW FOR AND COORDINATE STAGING OF THE WORKS, OUT OF NORMAL HOURS WORK AND POWER INTERRUPTIONS TO THE PROJECT.

2. ELECTRICAL SERVICES LAYOUT

ACCURACY OF SITE CONDITIONS SHALL BE DETERMINED VY SITE INSPECTION OR BY OTHER MEANS AS REQUIRED PRIOR TO TENDERING. ALL CONTRACTORS ARE REQUIRED TO CONTACT GURU PROJECTS DESIGN/CLIENT FOR VERBAL BRIEFING CLARIFICATIONS AND LIAISE WITH MAIN CONTRACTOR TO COORDINATE ANY SITE VISITS.

3. THE WORK

THE WORK TO BE CARRIED OUT COMPRISES THE SUPPLY, DELIVERY, INSTALLATION, TESTING, COMMISSIONING, WARRANTY AND MAINTENANCE OF THE ELECTRICAL SERVICES FOR THE PROJECT, ALONG WITH ALL MINOR INCIDENTAL WORK ASSOCIATED THERE WITH INCLUDING, BUT NOT LIMITED TO, THE FOLLOWING:

4. PERFORMANCE DESIGN CRITERIA

THE SYSTEM SHALL BE DESIGNED BASED ON THE FOLLOWING PARAMETERS:

4.1 MAXIMUM DEMAND

IN ACCORDANCE WITH THE AS3000.

4.2 VOLTAGE DROP

TO ANY POINT IN THE INSTALLATION LESS THAN 5%.
TO END OF SUBMAINS LESS THAN 3.5%.

4.3 SHORT CIRCUIT FAULT RATING

DISTRIBUTION SWITCHBOARD BUSBARS AS COMPUTED AT THE INCOMING TERMINATIONS AND LIMITED BY THE PROTECTION DEVICES ON THE MAIN SWITCHBOARD, BUT NOT LESS THAN 18KA RMS FOR 1 SEC.
DISTRIBUTION SWITCHBOARD FINAL SUBCIRCUIT PROTECTION DEVICES SHALL BE SIZED TO WITHSTAND THE COMPUTED FAULT LEVEL AT THE RESPECTIVE SWITCHBOARD BUT SHALL BE NOT LESS THAN 6KA.

4.4 EMERGENCY AND EXIT LIGHTING

DESIGNED AND INSTALLED IN ACCORDANCE WITH AS2293.1 AND MAINTAINED IN ACCORDANCE WIH AS2293.2.

4.5 LIGHTING

STANDARDS: AS1680.1, AS1680.2.0, AS1680.2.1 MINIMUM LLF:0.7 GENERALLY (TRIPHOSPHOR LAMPS) ALL WORKS SHALL COMPLY WITH THE REGULATIONS AND REQUIREMENTS OF AT LEAST THE FOLLOWING AUTHORITIES AND ANY OTHERS HAVING JURISDICTION OVER THE WORKS:
- METROPOLITAN FIRE BRIGADE.
- RELEVANT BUILDING SURVEYOR.
- ELECTRICITY SUPPLY AUTHORITIES.
- ACA.

4.6 LIGHTING FINAL SUB-CIRCUITS

TOTAL LOAD PER FINAL SUB-CIRCUIT PROTECTED BY 20A CIRCUIT BREAKER & 2.5MM + E CAB;OMG SJA;; BE 3000VAPR AS DETERMINED BY VOLTAGE DROP CALCULATION.
TOTAL LOAD PER FINAL SUB-CIRCUIT PROTECTED BY 16A CORCIOT BREALER & 2.5MM + E CABLING SHALL BE 2500VA OR AS DETERMINED BY VOLTAGE DROP CALCULATION. DIMMERS SHALL BE SIZED TO ACCOMMODATE LUMINAIRE LOADS.

4.7 DEMOLITION, TEMPORARY AND AFTER-HOURS WORKS

WHERE THE WORKS, INCLUDING AREAS ADJACENT THE MAIN WORK AREAS, REQUIRE ALTERATIONS TO EXISTING WIRING, SWITCHBOARDS, COMMUNICATIONS FRAMES, ETC. IN A MATTER SUCH THAT THE EXISTING WIRING AND CIRCUITS ARE SATISFACTORY IN EVERY PARTICULAR.

EXISTING WIRING, CONDUITS, FITTINGS, EQUIPMENT, APPARATUSAND THE LIKE IF ENCOUNTERED, OBSTRUCTED, OR DAMAGED IN THE COURSE OF THE WORK SHALL BE DEALT WITH AS FOLLOWS:

(A) IF TO REMAIN: REPAIR, DIVERT, RELOCATE AS REQUIRED TO ACHIEVE AND EQUIVALENT INSTALLATIONAS EXISTING.
(B) IF TO BE ABANDONED: UNLESS SPECIFIED OTHERWISE, DISCONNECT ELECTRICALLY AND MAKE SAFE, DISMANTLE AND REMOVE IN A NEAT WORKMANLIKE MANNER, CONSISTENT WITH MINIMISING DAMAGE TO SURFACES WHICH WOULD NEED TO BE MADE GOOD.

IN EITHER CASE, TO SATISFY THE AUTHORITIES CONCERNED AND TO APPROVAL AND WITHOUT COST VARIATION TO THE CONTRACT.

4.8 EXIT & EMERGENCY LIGHTING

REFER TO ELECTRICAL SUB CONTRACTORS DRAWINGS.

4.9 SWITCHING

THE CONTRACTOR IS REQUIRED TO SUBMIT SCHEMATICS TO THE ARCHITECT FOR REVIEW AND APPROVAL BASED ON THE FOLLOWING DESIGN PARAMETERS.

(A) ALL FITTINGS ARE TO BE SWITCHED/DIMMED VIA LIKE TYPES I.E. ALL A'S, ALL B'S, SWITCHING SYSTEM.
(B) TRAINING TO BE PROVIDED TO CLIENTS STAFF IN THE OPERATION OF THE SWITCHING SYSTEM.
(C) SWITCHING PLATES TO BE LOCATED AS SHOWN ON THE PLANS. PLATES TO BE SUBMITTED FOR APPROVAL AND SHOULD BE SILVER IN COLOUR UNLESS OTHERWISE STATED ON ARCHITECTURAL DRAWINGS.

5. BUILDING PENETRATIONS

SEAL ALL PENETRATIONS TO BCA C3.15 AND AS3000 REQUIREMENTS.

6. SAMPLES

SUBMIT SAMPLES OF ALL LUMINAIRES, SWITCHES, DIMMING PLATES, POWER OUTLETS ETC. FOR APPROVAL BY THE ARCHITECT AND CLIENT PRIOR TO ORDERING AND INSTALLATION,

7. REDUNDANT LUMINAIRES & EQUIPMENT

REDUNDANT LUMINAIRES & EQUIPMENT SHALL BE RETURNED TO CLIENT UNLESS NOTED OTHERWISE. REMOVE REDUNDANT WIRING CAUSED BY ALTERATIONS TO MALL AREAS.

8. EQUIPMENT

ALL EQUIPMENT SHALL BE NEW UNLESS STATED OTHERWISE. ALL WORK TIMES AND ACCESS SHALL BE COORDINATED WITH THE ARCHITECT AND THE CONSTRUCTION MANAGER.

9. OUTLETS

ALLOW FOR MOVEMENT OF THE OUTLETS UP TO 2 METRES PRIOR TO INSTALLATION, WITHOUT COST VARIATION.

10. FLOOR CHASING, DRILLING ETC.

FLOOR CHASING, DRILLING, ETC. SHALL BE CARRIED OUT IN 'OUT OF NORMAL' HOURS TO APPROVAL.

11. RE-COMMISSIONING

RE-COMMISSION ALL ELECTRICAL SERVICES & DEMONSTRATE SATISFACTORY PERFORMANCE TO APPROVAL. PROVIDE MAINTENANCE AND WARRANTY FO RTHE DEFECTS LIABILITY PERIOD SET OUT IN THE CONTRACT.

12. MANUALS AND "AS INSTALLED" DRAWINGS

3 BUSINESS DAYS BEFORE THE DATE OF PRACTICAL COMPLETION SUPPLY 4 COPIES OF OPERATING SERVICE AND MAINTENANCE MANUALS AND CAD DISK COPIES OF "AS INSTALLED" DRAWINGS. INFORMATION SHALL BE RECORDED GENERALLY IN ACCORDANCE WITH ARCHITECTS STANDARD REQUIREMENTS, MANUALS TO INCLUDE COLOURS COPIES OF ALL LUMINAIRES, LAMP REQUIREMENTS FOR ALL LUMINAIRES, EXCEPTED LAMP LIFE AND TRADE PRICE OF LAMP SPECIFIED. ORIGINAL COPIES OF DIMING MANUALS AND CONTROL PROGRAMS ARE REQUIRED.

13. ALTERNATIVE LUMINAIRES/SWITCH PLATES

(A) NO ALTERNATIVES WILL BE ACCEPTED WITHOUT THE WRITTEN APPROVAL OF ARCHITECT. COMPANY SUBMITTING ALTERNATIVES FOR REVIEW MUST SUPPLY THE FOLLOWING INFORMATION OR FITTING MAY BE REJECTED WITHOUT REVIEW.
(B) CALCULATIONS OF FITTING BEING OFFERED INCLUDING CALCULATION OF LUMINAIRES IN THE GENERAL AREA THAT EFFECT THE OVERALL CALCULATION.
© CALCULATIONS MUST BE PROVIDED/PERFORMED BY AN INDEPENDENT COMPANY WITH NO ASSOCIATION TO THE COMPANY SUBMITTING THE ALTERNATIVE FOR REVIEW OR THE MANUFACTURER OF THE FITTING BEING OFFERED.
(D) COMPANY OFFERING ALTERNATIVE MAY INCUR CHARGES FROM ARCHITECT AND/OR ENGINEER FOR THE REVIEW OF LUMINAIRES.
(F) ORIGINAL OR NOTORISED COPIES OF ALL RELEVANT APPROVALS MUST BE PROVIDED, I.E. IP RATING, C-TICK, PHOTOMETRICS, ETC.
(G) COST SAVINGS MUST BE INCLUDED WITH ANY ALTERNATIVE SUBMISSION INCLUDING UNIT RATE.

SHOULD YOU HAVE QUESTIONS IN RELATIONS OT THE ABOVE SPECIFICATION CONTRACT THE NOMINATED LIGHTING CONSULTANT.

14. ALL FITTINGS TO BE SUPPLIED AS SPECIFIED.

15. SWITCHBOARDS ARE TO BE INSTALLED IN ACCORDANCE WITH BCA-02.7

16. ALL DATA/PHONE CABLING TO BE COMPLETED TO THE AUSTRALIAN COMMUNICATIONS AND MEDIA AUTHORITY (ACMA) CABLING STANDARDS. AS/ACIF S009"2001. ALL CABLING WORK MUST BE PERFORMED OR SUPERVISED BY A PERSON WITH THE APPROPRIATE CABLING PROVIDER REGISTRATION.
- THIS STANDARD APPLIES TO THE INSTALLATIONAND MAINTENANCE OF FIXED OR CONCEALED CABLING OR EQUIPMENT THAT IS CONNECTED, OR IS CONNECTED AS FIXED OR CONCEALED CABLING.
- ALL CABLING IS TO BE CAT5 E MINIMUM, AND EACH PHONE AND DATAPOINT IS TO BE PROVIDED WITH 4 PAIR.

JOINERY NOTES

ALL DIMENSIONS TAKEN FROM FFL (FINISHED FLOOR LEVEL). ALL FIXINGS TO OPEN SHELVES AND CUPBOARDS SHALL BE ALIGNED WITHIN JOINERY & CONCEALED FROM SIGHT IN FINISHED WORKS. VENEERS & LAMINATE FINISHES TO HAVE APPROPRIATE COMPENSATORY MATERIAL TO OTHER SIDE OF BOARD. SITE SPECIFIC DIMENSIONS TAKE PRECEDENCE OVER STANDARD DETAIL DRAWINGS.

EXTERNAL CARCASE

SHALL BE CONSTRUCTED OF 16MM THICK PRELAMINATED PARTICLE BOARD AS NOTED, UNLESS OTHERWISE SPECIFIED, ALL EXPOSED EDGES TO BE LAMINATED, COLOUR/FINISH AS NOMINATED.

INTERNAL CARCASE

SHALL BE CONSTRUCTED OF 16MM THICK PRELAMINATED PARTICLE BOARD UNLESS SPECIFIED OTHERWISE INCLUDING ALL INTERNAL SURFACES & EDGES UNLESS NOTED OTHERWISE, BACKS SHALL BE CONSTRCTED OF PRELAMINATED 6MM PARTICLE BOARD WHERE LOCATED AGAINST A PARTITION. CONSTRUCT EXPOSED BACKS OF 18MM PRELAMINATED PARTICLE BOARD.

DOORS TO CUPBOARD & DRAWER FRONTS

SHALL BE CONSTRUCTED OF 16MM THICK PRELIMAINATED BOARD FOR UNDER BENCH AND OVERHEAD CUPBOARDS.

TIMBER

REFER TO FINISHES SCHEDULE FOR TIMBER FINISHING DETAILS

SHELVES

SHALL BE CONSTRUCTED OF 18MM THICK PRELAMINATED PARTICLE BOARD UP TO 800MM WIDE SPAN UNLESS NOTED OTHERWISE. AREAS OVER 800MM WIDE SPAN TO HAVE 25MM THICK PRELAMINATED PARTICLE BOARD SHELVES.

BNECHTOPS - (BACK OF HOUSE AREAS)

TO BE 32MM THICK LAMINATE PARTICLE BOARD (HMR PARTICLE BOARD IN WET AREAS) WITH EDGE AS DETAILED , UNLESS NOTED OTHERWISE. LAMINATE JOINTS AS INDICATED ON PLAN. NO OTHER JOINTS WILL BE ACCEPTED WITHOUT PRIOR APPROVAL

DRAWER LOCK (BACK OF HOUSE AREAS)

HAFELE SYMO 200 LOCKING SYSTEM, SINGLE SIDED CD CENTRAL LOCKING SYSTEM OR EQUIVALENT.

DRAWER RUNNERS (BACK OF HOUSE AREAS)

CONCEALED, METAL & FULLY EXTENSION TYPE RUNNERS TO SUIT SIZE & WEIGHT OF DRAWERS - 'HAFELE WVA' OR 'HETTICH QUADRO' OR SIMILAR APPROVED.

SHELF SUPPORT

HAFELE SHELF SUPPORTS CAT NO. 282.04.711 NICKEL PLATED FINISH.

GLAZING

GLAZING TO AS 1288.

HINGES

SHALL BE FULLY CONCEALED SELF CLOSING METAL HINGES WITH 90° OPENING - 'BLUM CLIP' OR 'HETTICH EUROMATT TOP SAFE' OR SIMILAR APPROVED.

HANDLES (BACK OF HOUSE AREAS)

CUPBOARD & DRAWER - HOWARD SILVERS 10MM DOOR PULL (128X10X35MM)
ORDER CODE: 054272 STAINLESS STEEL FINISH. CENTRED HORIZONTALLY 40MM FROM TOP EDGE ON DRAWERS. SET IN 40MM FROM TOP & SIDE EDGE OF CUPBOARDS.

DOOR CATCHES


CUPBOARDS - HAFELE TOUCH CATCH/AUTOMATIC SPRING CATCH OR EQUIVALENT CAT NO. 245.55.913 IN BRIGHT GALVANISED STEEL.

CABLE HOLES (BACK OF HOUSE AREAS)

CABLE HOLES TO BE 60MM WITH HAFELE CABLE CAP INSERT (CAT NO. 429.99.520)
COLOUR - LIGHT GREY POSITION AS INDICATED ON PLAN. CASH DRAWER PROPRIETRY DRAWER CONNECTED TO POS COMPUTER SUPPLIER TBC INSTALLED BY JOINER.

EQUIPMENT

ALL EQUIPMENT SHALL BE SUPPLIED BY CLIENT.

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	NO.	DATE	BY	REVISION NOTES				

AVENUE RD CAFE

185 AVENUE ROAD, MOSMAN

SITE PLAN

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					MR. TARAN TAMANA	SITE PLAN	DA 03	
					PROJECT:	STATUS:	REVISION:	
					AVENUE RD CAFE	DEVELOPMENT APPLICATION		
					LOCATION:	DRAWN BY:	DWG DATE:	
	NO.	DATE	BY	REVISION NOTES	771 MILITARY ROAD, MOSMAN NSW 2088	E.T.	20.11.2017	
					CHECKED BY:	S.J./D.V.	SCALE:	AS STATED



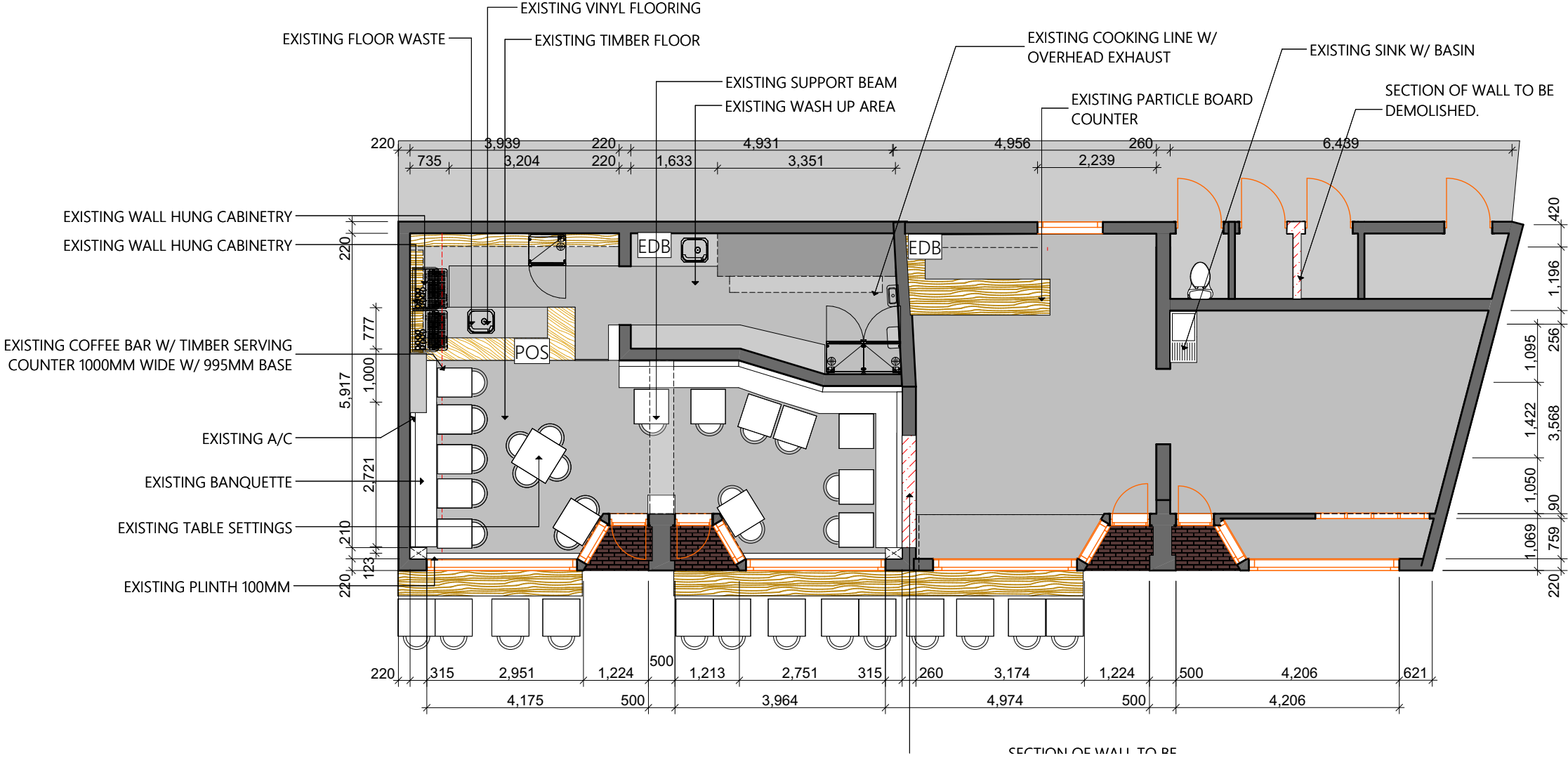
REFERENCE PHOTO OF EXISTING KITCHEN



REFERENCE PHOTO OF EXISTING POOL SHOP



REFERENCE PHOTO OF EXISTING COFFEE BAR AREA



EXISTING GROUND FLOOR PLAN
1:100

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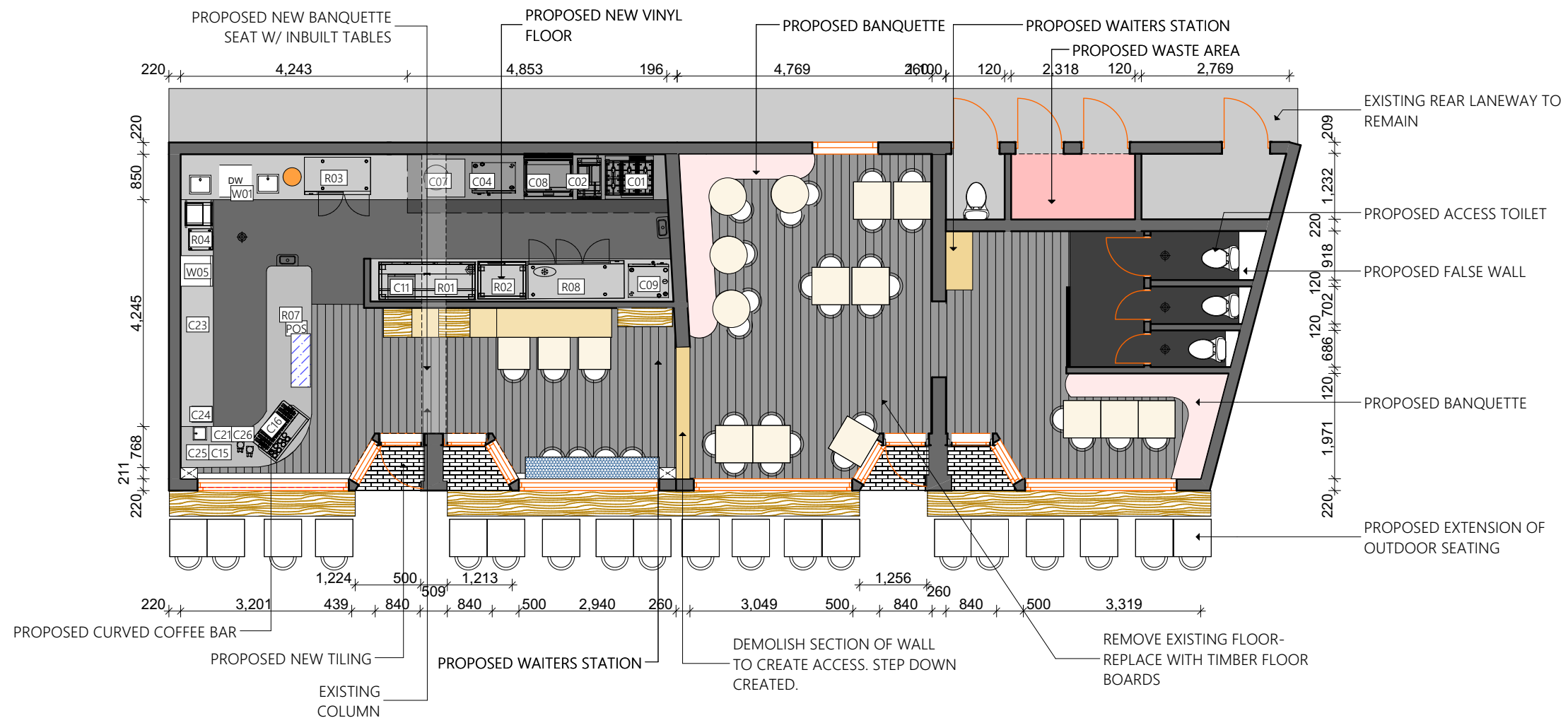
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NO.	DATE	BY	REVISION NOTES

CLIENT:	DRAWING TITLE:	DRAWING NUMBER:
MR. TARAN TAMANA	EXISTING GROUND FLOOR PLAN	DA 04
PROJECT:	STATUS:	REVISION:
AVENUE RD CAFE	DEVELOPMENT APPLICATION	
LOCATION:	DRAWN BY:	DWG DATE:
771 MILITARY ROAD, MOSMAN NSW 2088	E.T.	20.11.2017
	CHECKED BY:	SCALE:
	S.J./D.V.	AS STATED

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hospitality projects
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PROPOSED FLOOR PLAN
1:100

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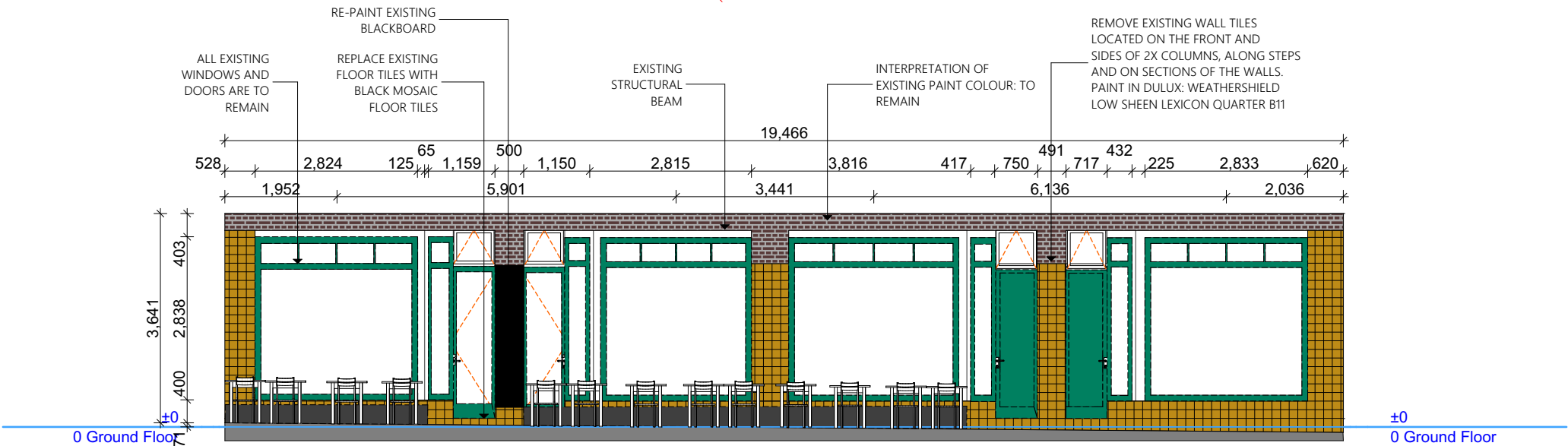
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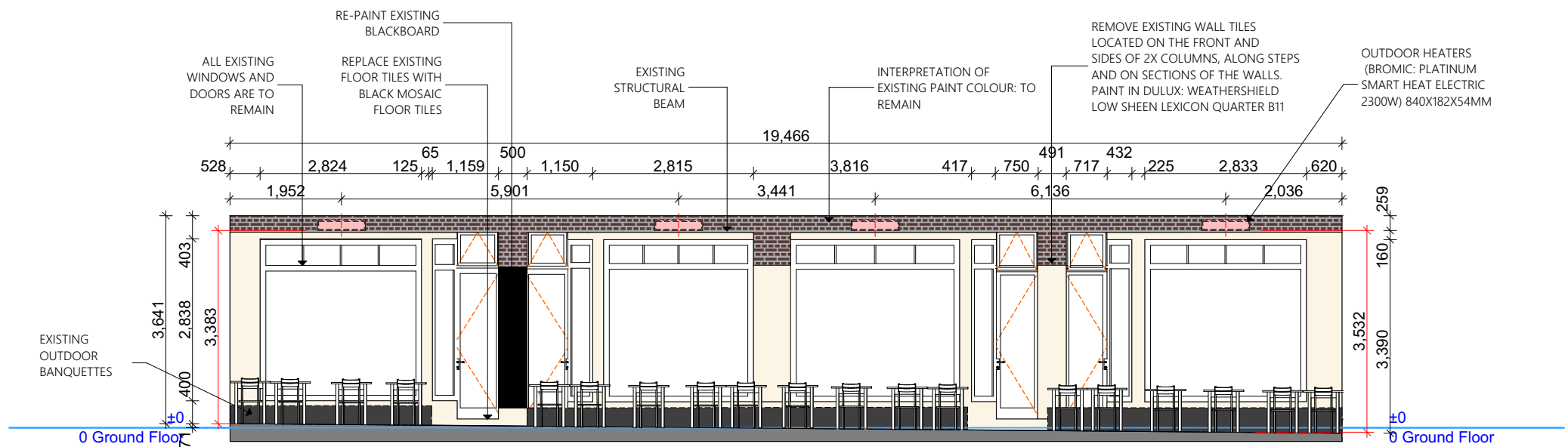
NO.	DATE	BY	REVISION NOTES

CLIENT:	MR. TARAN TAMANA	DRAWING TITLE:	PROPOSED FLOOR PLAN	DRAWING NUMBER:	DA 05
PROJECT:	AVENUE RD CAFE	STATUS:	DEVELOPMENT APPLICATION	REVISION:	
LOCATION:	771 MILITARY ROAD, MOSMAN NSW 2088	DRAWN BY:	E.T.	DWG DATE:	20.11.2017
		CHECKED BY:	S.J./D.V.	SCALE:	AS STATED



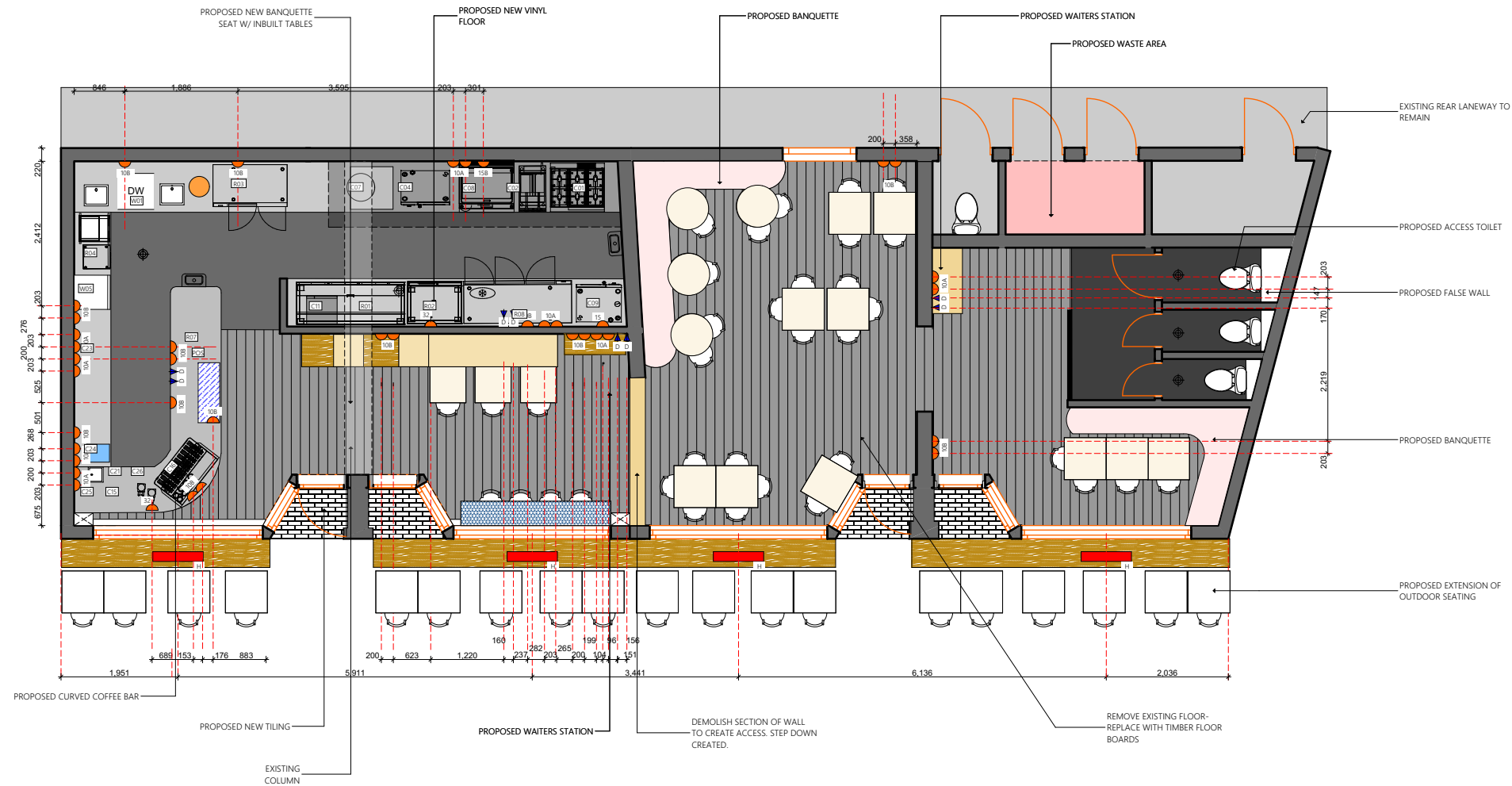
EXISTING EXTERNAL ELEVATION
1:100

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					PROJECT: AVENUE RD CAFE	STATUS: DEVELOPMENT APPLICATION	REVISION:	
					LOCATION: 771 MILITARY ROAD, MOSMAN NSW 2088	DRAWN BY: E.T.	DWG DATE: 20.11.2017	
						CHECKED BY: S.J./D.V.	SCALE: AS STATED	
	NO.	DATE	BY	REVISION NOTES				



PROPOSED EXTERNAL ELEVATION
1:100

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					PROJECT: AVENUE RD CAFE	STATUS: DEVELOPMENT APPLICATION	REVISION:	
					LOCATION: 771 MILITARY ROAD, MOSMAN NSW 2088	DRAWN BY: E.T.	DWG DATE: 20.11.2017	
						CHECKED BY: S.J./D.V.	SCALE: AS STATED	
	NO.	DATE	BY	REVISION NOTES				



ELECTRICAL LEGEND

10A	10 Amps SINGLE GPO ABOVE BENCH APPROX 1200 AFL
10B	10 Amps SINGLE GPO BELOW BENCH APPROX 750 AFL
10A	10 Amps DOUBLE GPO ABOVE BENCH APPROX 1200 AFL
10B	10 Amps DOUBLE GPO BELOW BENCH APPROX 750 AFL
15	15 Amps SINGLE GPO ABOVE BENCH APPROX 1200 AFL
20	20 Amps SINGLE GPO BELOW BENCH APPROX 750 AFL
32	32 Amps SINGLE GPO BELOW BENCH APPROX 750 AFL
25	25 Amps THREE PHASE BELOW BENCH APPROX 750 AFL
32	32 Amps THREE PHASE BELOW BENCH APPROX 750 AFL
D	DATA POINT TELEPHONE, EFTPOS
H	OUTDOOR HEATERS

NOTES:

ALL CEILING DIMENSIONS AND SERVICE LOCATIONS TO BE CONFIRMED ON SITE. EXISTING SERVICES DIMENSIONS ARE EXISTING ONLY, CHECK EASURE AND ENSURE ALL DIMENSIONS ARE VERIFIED.

ELECTRICAL PLAN
1:100

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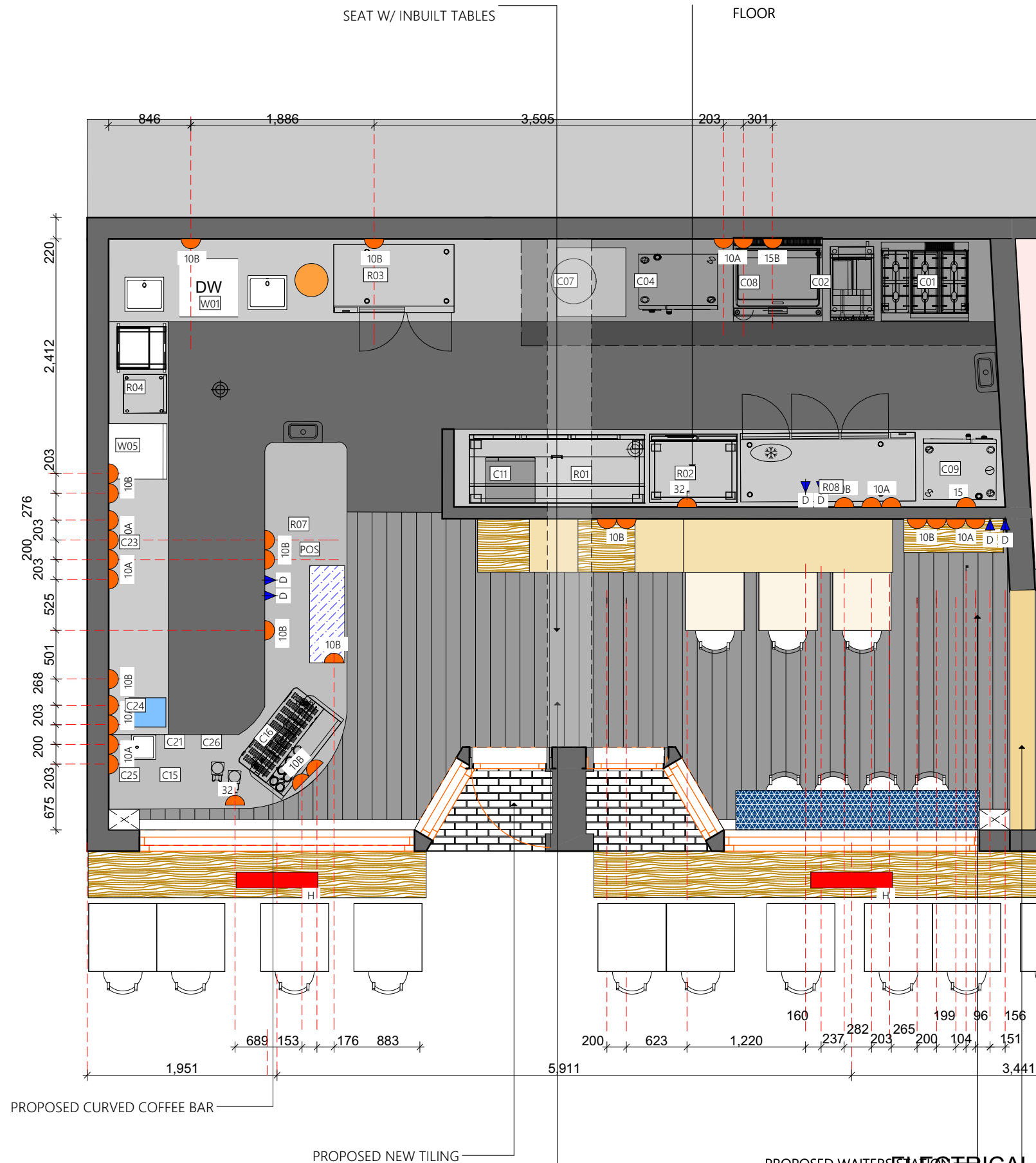
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NO.	DATE	BY	REVISION NOTES

CLIENT:	MR. TARAN TAMANA	DRAWING TITLE:	ELECTRICAL PLAN	DRAWING NUMBER:	DA 09
PROJECT:	AVENUE RD CAFE	STATUS:	DEVELOPMENT APPLICATION	REVISION:	
LOCATION:	771 MILITARY ROAD, MOSMAN NSW 2088	DRAWN BY:	E.T.	DWG DATE:	20.11.2017
		CHECKED BY:	S.J./D.V.	SCALE:	AS STATED

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UNIT 303, 30-40 HARCOURT
PARADE, ROSEBERY NSW
ABN: 69 600 911 082 Tel: 0416 648 751



ELECTRICAL LEGEND

10A	10 Amps SINGLE GPO ABOVE BENCH APPROX 1200 AFL
10B	10 Amps SINGLE GPO BELOW BENCH APPROX 750 AFL
10A	10 Amps DOUBLE GPO ABOVE BENCH APPROX 1200 AFL
10B	10 Amps DOUBLE GPO BELOW BENCH APPROX 750 AFL
15	15 Amps SINGLE GPO ABOVE BENCH APPROX 1200 AFL
20	20 Amps SINGLE GPO BELOW BENCH APPROX 750 AFL
32	32 Amps SINGLE GPO BELOW BENCH APPROX 750 AFL
25	25 Amps THREE PHASE BELOW BENCH APPROX 750 AFL
32	32 Amps THREE PHASE BELOW BENCH APPROX 750 AFL
D	DATA POINT TELEPHONE, EFTPOS

NOTES:

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ELECTRICAL PLAN

1:50

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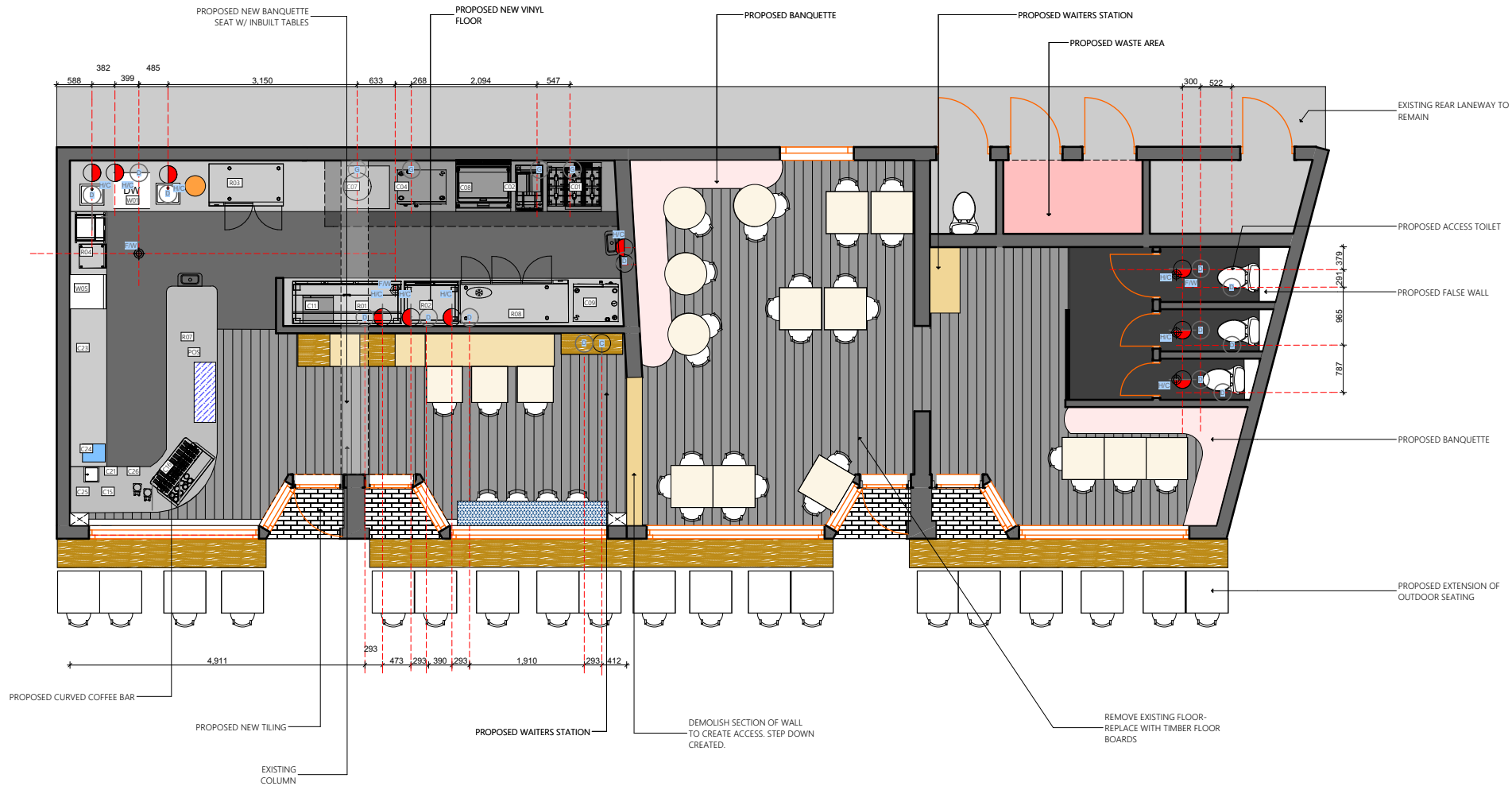
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NO.	DATE	BY	REVISION NOTES

CLIENT:	MR. TARAN TAMANA	DRAWING TITLE:	ELECTRICAL PLAN BAR & KITCHEN	DRAWING NUMBER:	DA 10
PROJECT:	AVENUE RD CAFE	STATUS:	DEVELOPMENT APPLICATION	REVISION:	
LOCATION:	771 MILITARY ROAD, MOSMAN NSW 2088	DRAWN BY:	E.T.	DWG DATE:	20.11.2017
		CHECKED BY:	S.J./D.V.	SCALE:	AS STATED

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HYDRAULIC PLAN

CODE	DESCRIPTION
H/C	HOT / COLD WATER CONNECTION
C	COLD WATER CONNECTION
F/W	FLOOR WASTE
G	GAS
D	DRAIN

NOTES:

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HYDRAULIC PLAN
1:100

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NO.	DATE	BY	REVISION NOTES

CLIENT:	MR. TARAN TAMANA	DRAWING TITLE:	HYDRAULIC PLAN	DRAWING NUMBER:	DA 11
PROJECT:	AVENUE RD CAFE	STATUS:	DEVELOPMENT APPLICATION	REVISION:	
LOCATION:	771 MILITARY ROAD, MOSMAN NSW 2088	DRAWN BY:	E.T.	DWG DATE:	20.11.2017
		CHECKED BY:	S.J./D.V.	SCALE:	AS STATED

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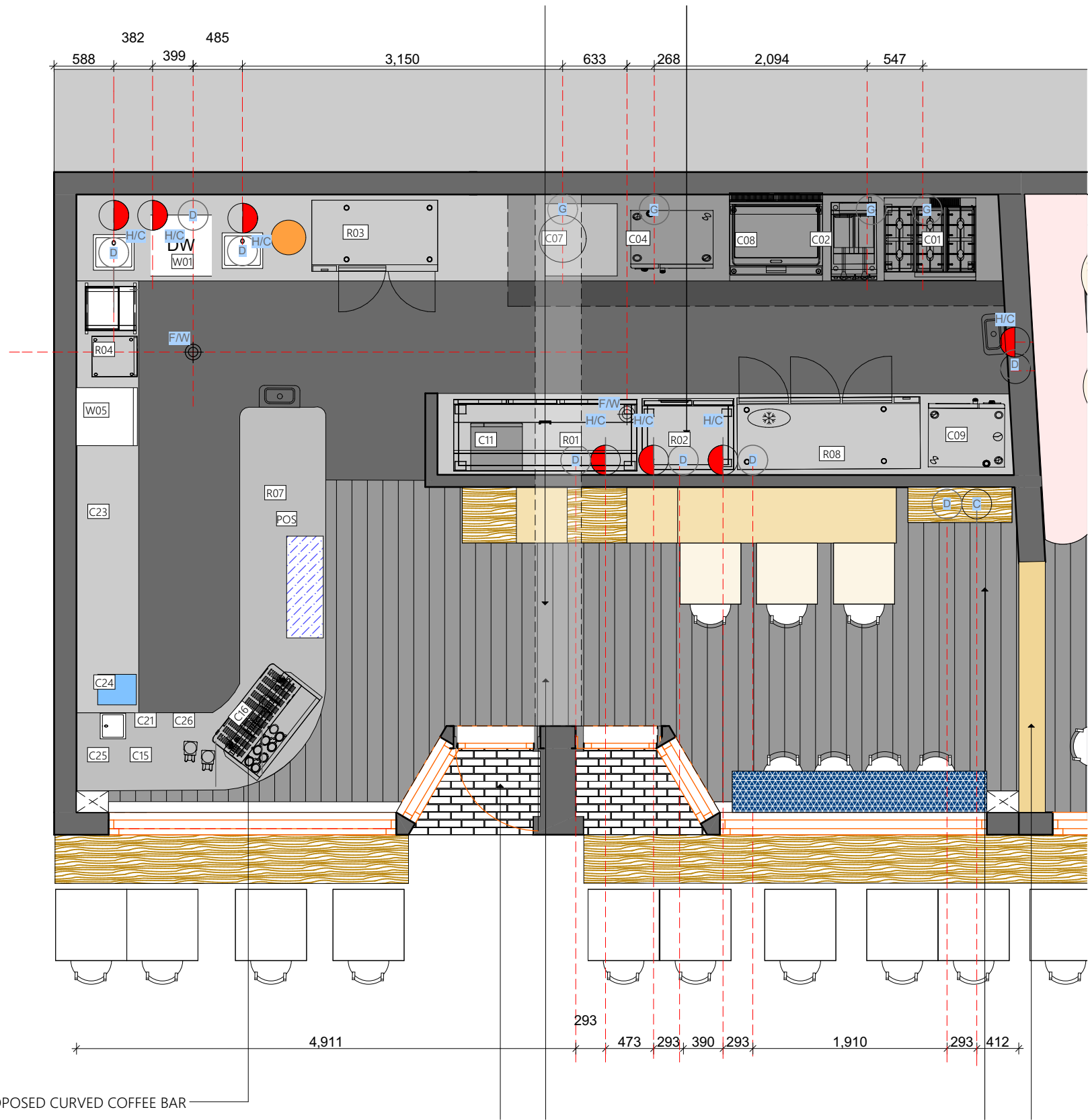
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




UNIT 303, 30-40 HARCOURT

PARADE, ROSEBERY NSW

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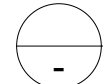
HYDRAULIC PLAN

CODE	DESCRIPTION
 	HOT / COLD WATER CONNECTION
	COLD WATER CONNECTION
	FLOOR WASTE
	GAS
	DRAIN

NOTES:

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HYDRAULIC PLAN BAR & KITCHEN
1:50



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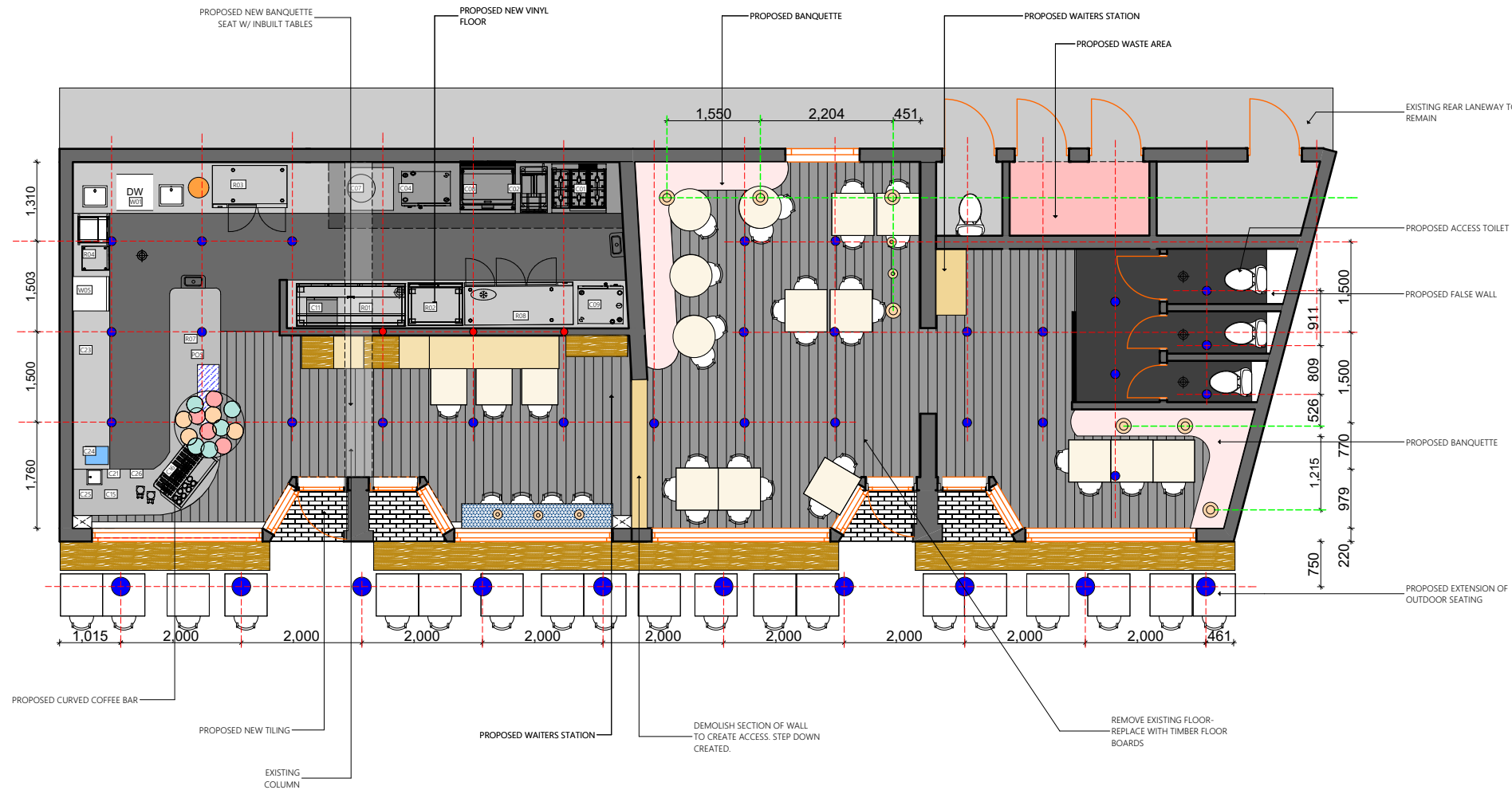
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NO.	DATE	BY	REVISION NOTES

CLIENT:	MR. TARAN TAMANA	DRAWING TITLE:	HYDRAULIC PLAN BAR & KITCHEN	DRAWING NUMBER:	DA 12
PROJECT:	AVENUE RD CAFE	STATUS:	DEVELOPMENT APPLICATION	REVISION:	
LOCATION:	771 MILITARY ROAD, MOSMAN NSW 2088	DRAWN BY:	E.T.	DWG DATE:	20.11.2017
		CHECKED BY:	S.J./D.V.	SCALE:	AS STATED

NOTES:

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	KITCHEN RECESSED DOWNLIGHTS
	SURFACE MOUNTED DOWNLIGHTS ON DIMMERS
	OUTSIDE LIGHTING
	FRONT OF HOUSE LIGHT SWITCHW/ DIMMER
	BACK OF HOUSE LIGHT SWITCH W/ DIMMER
	EXIT SIGN
	PENDANT: EXISTING PENDANT ON DIMMER
	FAT SHACK VINTAGE: ASTOR PENDANT 250MM DIAMETER
	FAT SHACK VINTAGE: DECO GLASS CEILING PENDANT 200MM DIAMETER

REFLECTED CEILING PLAN
1:100

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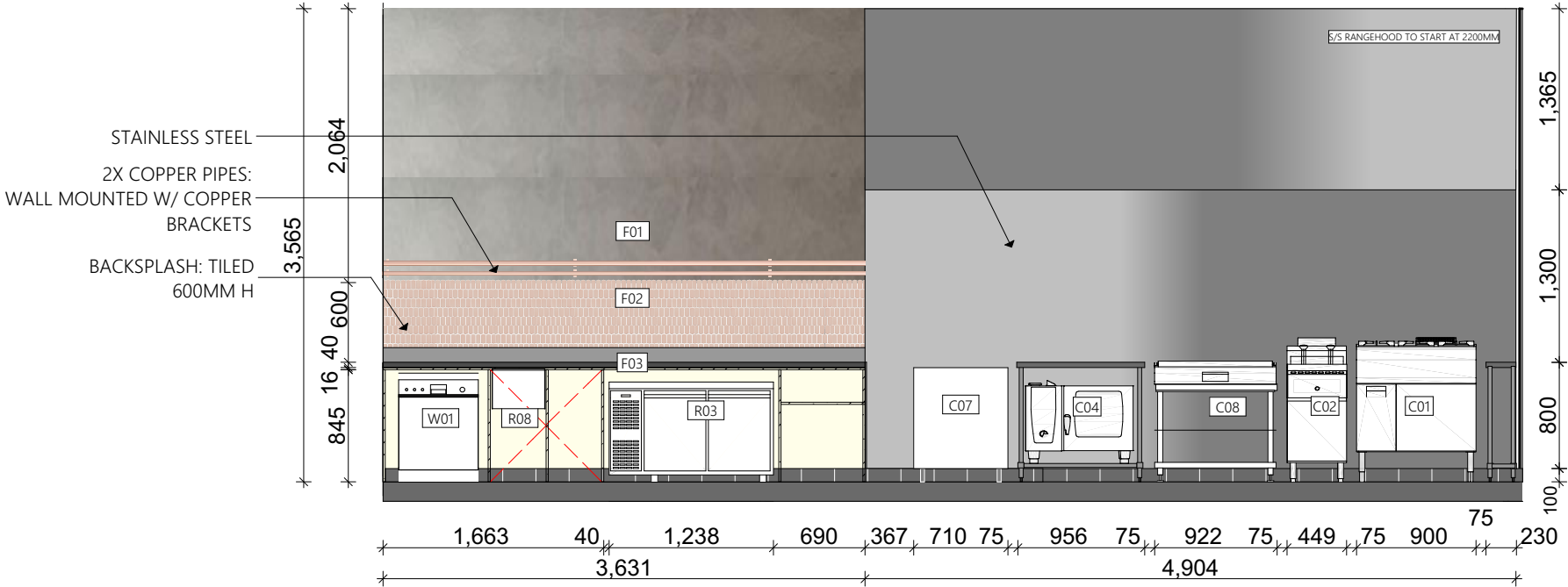
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NO.	DATE	BY	REVISION NOTES


CLIENT:	MR. TARAN TAMANA	DRAWING TITLE:	REFLECTED CEILING PLAN	DRAWING NUMBER:	DA 13
PROJECT:	AVENUE RD CAFE	STATUS:	DEVELOPMENT APPLICATION	REVISION:	
LOCATION:	771 MILITARY ROAD, MOSMAN NSW 2088	DRAWN BY:	E.T.	DWG DATE:	20.11.2017
		CHECKED BY:	S.J./D.V.	SCALE:	AS STATED

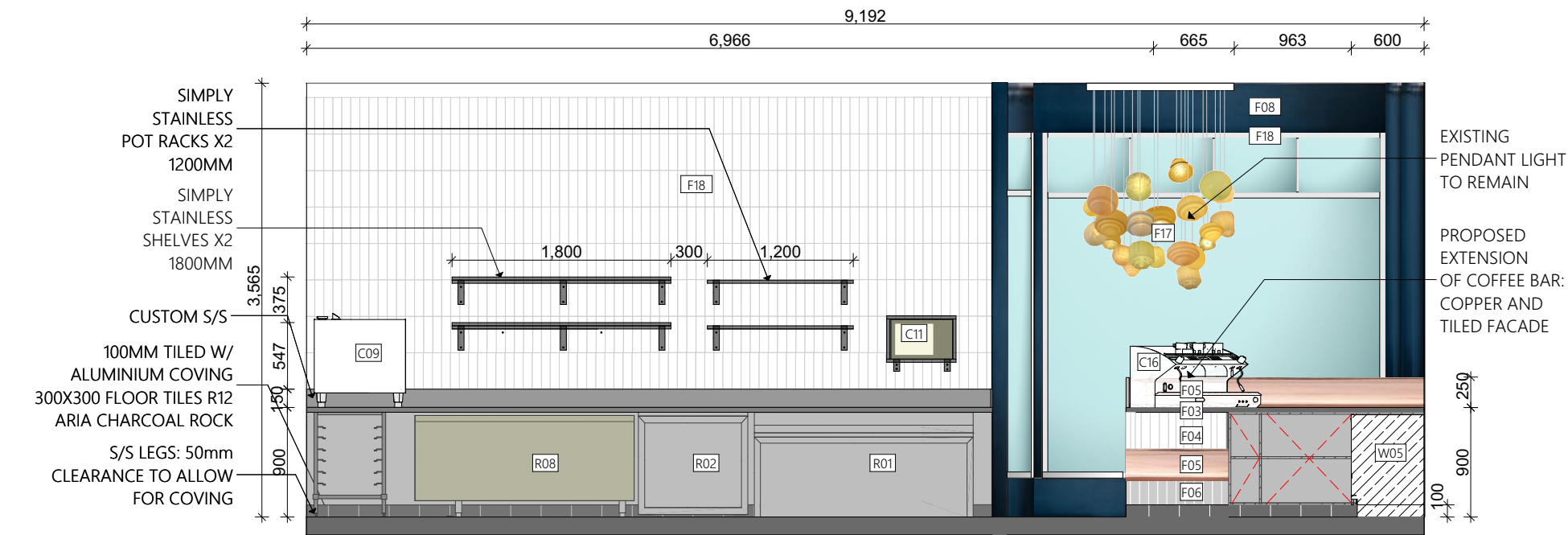


KITCHEN ELEVATION A
1:50

FINISHES SCHEDULE
F01: PAINT FINISH: PORTERS FRESCO SHELL GREY
F02: TILES: SKHEME SAVOY CRYSTAL PINK GLOSS
F03: BENCHTOP: CAESARSTONE SLEEK CONCRETE 40MM
F04: TILES: TILE AFFAIR, MAGNUM, WHITE MATT 75X300
F05: COPPER PANLES: POLISHED COPPER
F06: CABINETRY FACES: POLYTEC, MELAMINE ANTIQUE MATT
F07: WAITERS STATION DOORS: LAMINEX CHARCOAL NATURAL 461
F08: PAINT: PORTERS WHALE WATCHING
F09: PIANT: PORTERS ALMOND WHITE ESS WHITES
F10: BANQUETTE FABRIC: INSTYLE, ATELIER HIMALAYAN
F11: TIMBER BANQUETTE: INSTYLE, ZONE, PROTECTION VINYL
F12: TABLE TILES: SKHEME, SAVOY, DARK BLUE GLOSS
F13: WALL DETAIL TILE: ACADEMY 46150006
F14: FRAMED WALL ART: TBD
F15: PENDANT: FAT SHACK, DECO GLASS CEILING PENDANT
F16: PENDANT: FAT SHACK, ASTOR PENDANT
F17: PENDANT: EXISTING PENDANT
F18: CEILING/WALLS PAINT: DULUX, NATURAL WHITE
F19: FLOOR: HAVWOODS, OAK COFFEE, HW646 SELECT GRADE

KITCHEN EQUIPMENT SCHEDULE
COOKING & APPLIANCES
C01: 6 BURNER STOVE: BLUESEAL
C02: GAS DEEP FRYER: BLUESEAL
C03: GRIDDLE: BARON
C04: CONVECTION OVEN: MOFFAT
C05: GRILL TOASTER: ROBAND
C06: 2 BURNER STOVE TOP (STAND MOUNTED): GOLDSTEIN
C07: TANDOOR OVEN: GOLDEN TANDOORS
C08: GRIDDLE (STAND MOUNTED): GOLDSTEIN
C09: COMBI: UNOX
C10: GRILL TOASTER: ROBAND
C11: MICROWAVE: BONN
REFRIDGERATION
R01: BENCH FRIDGE W/ COLD BAR
R02: UNDERCOUNTER DRAWER FREEZER, AUSTUNE
WASH & STORAGE
W01: DISHWASHER, PASSTHROUGH: ESWOOD
BAR EQUIPMENT SHEDULE
COOKING & APPLIANCES
C12: GRINDER: MYTHOS
C13: GRINDER: BRAND NOT CONFIMED
C14: COLD PRESS JUICER: KUVINGS
C15: UBER BOILER: 5 SENSES COFFEE
C16: COFFEE MACHINE: SYNESSO
C17: COUNTER TOP BLENDER: BRAND NOT CONFIRMED
C18: MILKSHAKE MIXER: ROBAND
C19: COLD PRESS JUICER: KUVINGS
C20: COFFEE TAMPER PUQPRESS
C21: ACAIA COFFEE SCALE: ACAIA
C23: 2 DOOR CHILLER: JUGGLER
C24: JUGGLER: JUGGLER
REFRIDGERATION
R03: UNDER BENCH DRAWER FREEZER: AUSTUNE
R04: UNDER BENCH ICE MACHINE:HOSHIZAKI
R05: AMBIANT DISPLAY: ICE
R06: CAKE DISPLAY: ICE
R07: SPARKLING WATER SYSTEM: MODA
R08: UNDERCOUNTER 3 DOOR FRIDGE: AUSTUNE
R09: DRINKS FRIDGE
R10: JUGGLER: SIX SIMPLE MACHINES
R11: MILK FRIDGE: AUSTUNE
WASH & STORAGE
W05: UNDERCOUNTER DISHWASHER: WASHTEC

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					PROJECT: AVENUE RD CAFE	STATUS: DEVELOPMENT APPLICATION	REVISION:	
					LOCATION: 771 MILITARY ROAD, MOSMAN NSW 2088	DRAWN BY: E.T.	DWG DATE: 20.11.2017	
						CHECKED BY: S.J./D.V.	SCALE: AS STATED	
	NO.	DATE	BY	REVISION NOTES				



FINISHES SCHEDULE
F01: PAINT FINISH: PORTERS FRESCO SHELL GREY
F02: TILES: SKHEME SAVOY CRYSTAL PINK GLOSS
F03: BENCHTOP: CAESARSTONE SLEEK CONCRETE 40MM
F04: TILES: TILE AFFAIR, MAGNUM, WHITE MATT 75X300
F05: COPPER PANLES: POLISHED COPPER
F06: CABINETRY FACES: POLYTEC, MELAMINE ANTIQUE MATT
F07: WAITERS STATION DOORS: LAMINEX CHARCOAL NATURAL 461
F08: PAINT: PORTERS WHALE WATCHING
F09: PIANT: PORTERS ALMOND WHITE ESS WHITES
F10: BANQUETTE FABRIC: INSTYLE, ATELIER HIMALAYAN
F11: TIMBER BANQUETTE: INSTYLE, ZONE, PROTECTION VINYL
F12: TABLE TILES: SKHEME, SAVOY, DARK BLUE GLOSS
F13: WALL DETAIL TILE: ACADEMY 46150006
F14: FRAMED WALL ART: TBD
F15: PENDANT: FAT SHACK, DECO GLASS CEILING PENDANT
F16: PENDANT: FAT SHACK, ASTOR PENDANT
F17: PENDANT: EXISTING PENDANT
F18: CEILING/WALLS PAINT: DULUX, NATURAL WHITE
F19: FLOOR: HAVWOODS, OAK COFFEE, HW646 SELECT GRADE

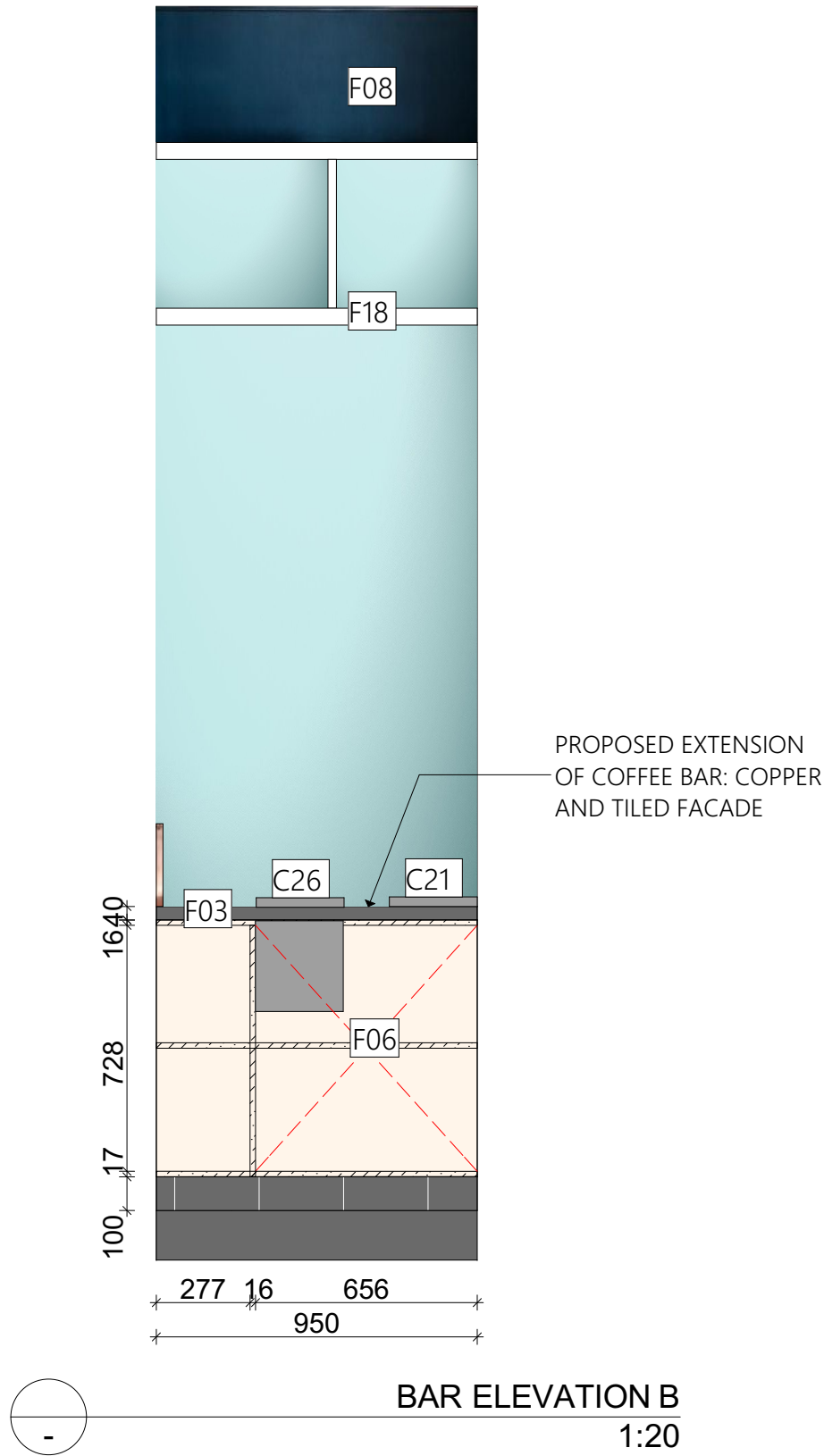
KITCHEN EQUIPMENT SCHEDULE
COOKING & APPLIANCES
C01: 6 BURNER STOVE: BLUESEAL
C02: GAS DEEP FRYER: BLUESEAL
C03: GRIDDLE: BARON
C04: CONVECTION OVEN: MOFFAT
C05: GRILL TOASTER: ROBAND
C06: 2 BURNER STOVE TOP (STAND MOUNTED): GOLDSTEIN
C07: TANDOOR OVEN: GOLDEN TANDOORS
C08: GRIDDLE (STAND MOUNTED): GOLDSTEIN
C09: COMBI: UNOX
C10: GRILL TOASTER: ROBAND
C11: MICROWAVE: BONN
REFRIDGERATION
R01: BENCH FRIDGE W/ COLD BAR
R02: UNDERCOUNTER DRAWER FREEZER, AUSTUNE
WASH & STORAGE
W01: DISHWASHER, PASSTHROUGH: ESWOOD
BAR EQUIPMENT SHEDULE
COOKING & APPLIANCES
C12: GRINDER: MYTHOS
C13: GRINDER: BRAND NOT CONFIMED
C14: COLD PRESS JUICER: KUVINGS
C15: UBER BOILER: 5 SENSES COFFEE
C16: COFFEE MACHINE: SYNESSO
C17: COUNTER TOP BLENDER: BRAND NOT CONFIRMED
C18: MILKSHAKE MIXER: ROBAND
C19: COLD PRESS JUICER: KUVINGS
C20: COFFEE TAMPER PUQPRESS
C21: ACAIA COFFEE SCALE: ACAIA
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C24: JUGGLER: JUGGLER
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R09: DRINKS FRIDGE
R10: JUGGLER: SIX SIMPLE MACHINES
R11: MILK FRIDGE: AUSTUNE
WASH & STORAGE
W05: UNDERCOUNTER DISHWASHER: WASHTEC

KITCHEN ELEVATION B
1:50



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					MR. TARAN TAMANA	KITCHEN ELEVATION B	DA 16
					PROJECT:	STATUS:	REVISION:
					AVENUE RD CAFE	DEVELOPMENT APPLICATION	
					LOCATION:	DRAWN BY:	DWG DATE:
					771 MILITARY ROAD, MOSMAN NSW 2088	E.T.	20.11.2017
						CHECKED BY:	SCALE:
						S.J./D.V.	AS STATED





FINISHES SCHEDULE

F01: PAINT FINISH: PORTERS FRESCO SHELL GREY
F02: TILES: SKHEME SAVOY CRYSTAL PINK GLOSS
F03: BENCHTOP: CAESARSTONE SLEEK CONCRETE 40MM
F04: TILES: TILE AFFAIR, MAGNUM, WHITE MATT 75X300
F05: COPPER PANLES: POLISHED COPPER
F06: CABINETRY FACES: POLYTEC, MELAMINE ANTIQUE MATT
F07: WAITERS STATION DOORS: LAMINEX CHARCOAL NATURAL 461
F08: PAINT: PORTERS WHALE WATCHING
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F18: CEILING/WALLS PAINT: DULUX, NATURAL WHITE
F19: FLOOR: HAVWOODS, OAK COFFEE, HW646 SELECT GRADE

KITCHEN EQUIPMENT SCHEDULE

COOKING & APPLIANCES

C01: 6 BURNER STOVE: BLUESEAL
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C03: GRIDDLE: BARON
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C09: COMBI: UNOX
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C11: MICROWAVE: BONN

REFRIDGERATION

R01: BENCH FRIDGE W/ COLD BAR
R02: UNDERCOUNTER DRAWER FREEZER, AUSTUNE

WASH & STORAGE

W01: DISHWASHER, PASSTHROUGH: ESWOOD

BAR EQUIPMENT SHEDULE

COOKING & APPLIANCES

C12: GRINDER: MYTHOS
C13: GRINDER: BRAND NOT CONFIMED
C14: COLD PRESS JUICER: KUVINGS
C15: UBER BOILER: 5 SENSES COFFEE
C16: COFFEE MACHINE: SYNESSO
C17: COUNTER TOP BLENDER: BRAND NOT CONFIRMED
C18: MILKSHAKE MIXER: ROBAND
C19: COLD PRESS JUICER: KUVINGS
C20: COFFEE TAMPER PUQPRESS
C21: ACAIA COFFEE SCALE: ACAIA
C23: 2 DOOR CHILLER: JUGGLER
C24: JUGGLER: JUGGLER

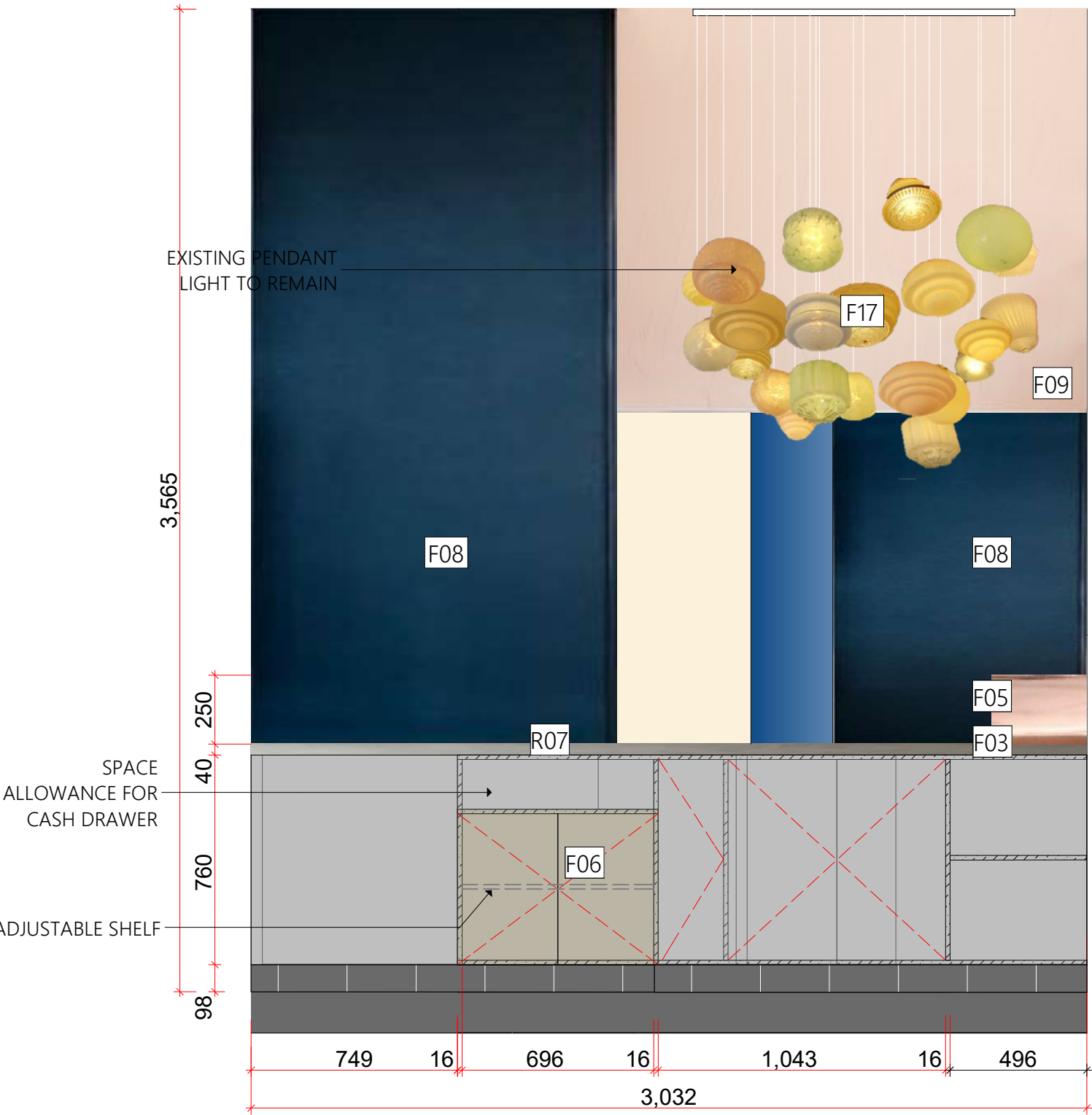
REFRIDGERATION

R03: UNDER BENCH DRAWER FREEZER: AUSTUNE
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R10: JUGGLER: SIX SIMPLE MACHINES
R11: MILK FRIDGE: AUSTUNE

WASH & STORAGE

W05: UNDERCOUNTER DISHWASHER: WASHTEC

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					PROJECT:	STATUS:	REVISION:	
					LOCATION:	DRAWN BY:	DWG DATE:	
						CHECKED BY:	SCALE:	
	NO.	DATE	BY	REVISION NOTES	MR. TARAN TAMANA	BAR ELEVATION B	DA 18	
					AVENUE RD CAFE	DEVELOPMENT APPLICATION		
					771 MILITARY ROAD, MOSMAN NSW 2088	E.T.	20.11.2017	
						S.J./D.V.	AS STATED	



E-59
-

BAR ELEVATION C
1:20

FINISHES SCHEDULE

- F01:** PAINT FINISH: PORTERS FRESCO SHELL GREY
F02: TILES: SKHEME SAVOY CRYSTAL PINK GLOSS
F03: BENCHTOP: CAESARSTONE SLEEK CONCRETE 40MM
F04: TILES: TILE AFFAIR, MAGNUM, WHITE MATT 75X300
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F19: FLOOR: HAVWOODS, OAK COFFEE, HW646 SELECT GRADE

KITCHEN EQUIPMENT SCHEDULE

COOKING & APPLIANCES

- C01:** 6 BURNER STOVE: BLUESEAL
C02: GAS DEEP FRYER: BLUESEAL
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C07: TANDOOR OVEN: GOLDEN TANDOORS
C08: GRIDDLE (STAND MOUNTED): GOLDSTEIN
C09: COMBI: UNOX
C10: GRILL TOASTER: ROBAND
C11: MICROWAVE: BONN

REFRIDGERATION

- R01:** BENCH FRIDGE W/ COLD BAR
R02: UNDERCOUNTER DRAWER FREEZER, AUSTUNE

WASH & STORAGE

- W01:** DISHWASHER, PASSTHROUGH: ESWOOD

BAR EQUIPMENT SHEDULE

COOKING & APPLIANCES

- C12:** GRINDER: MYTHOS
C13: GRINDER: BRAND NOT CONFIMED
C14: COLD PRESS JUICER: KUVINGS
C15: UBER BOILER: 5 SENSES COFFEE
C16: COFFEE MACHINE: SYNESSO
C17: COUNTER TOP BLENDER: BRAND NOT CONFIRMED
C18: MILKSHAKE MIXER: ROBAND
C19: COLD PRESS JUICER: KUVINGS
C20: COFFEE TAMPER PUQPRESS
C21: ACAIA COFFEE SCALE: ACAIA
C23: 2 DOOR CHILLER: JUGGLER
C24: JUGGLER: JUGGLER

REFRIDGERATION

- R03:** UNDER BENCH DRAWER FREEZER: AUSTUNE
R04: UNDER BENCH ICE MACHINE:HOSHIZAKI
R05: AMBIANT DISPLAY: ICE
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R10: JUGGLER: SIX SIMPLE MACHINES
R11: MILK FRIDGE: AUSTUNE

WASH & STORAGE

- W05:** UNDERCOUNTER DISHWASHER: WASHTEC

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					PROJECT: AVENUE RD CAFE	STATUS: DEVELOPMENT APPLICATION	REVISION:
					LOCATION: 185 AVENUE ROAD, MOSMAN NSW 2088	DRAWN BY: E.T.	DWG DATE: 20.11.2017
						CHECKED BY: S.J./D.V.	SCALE: AS STATED
	NO.	DATE	BY	REVISION NOTES			

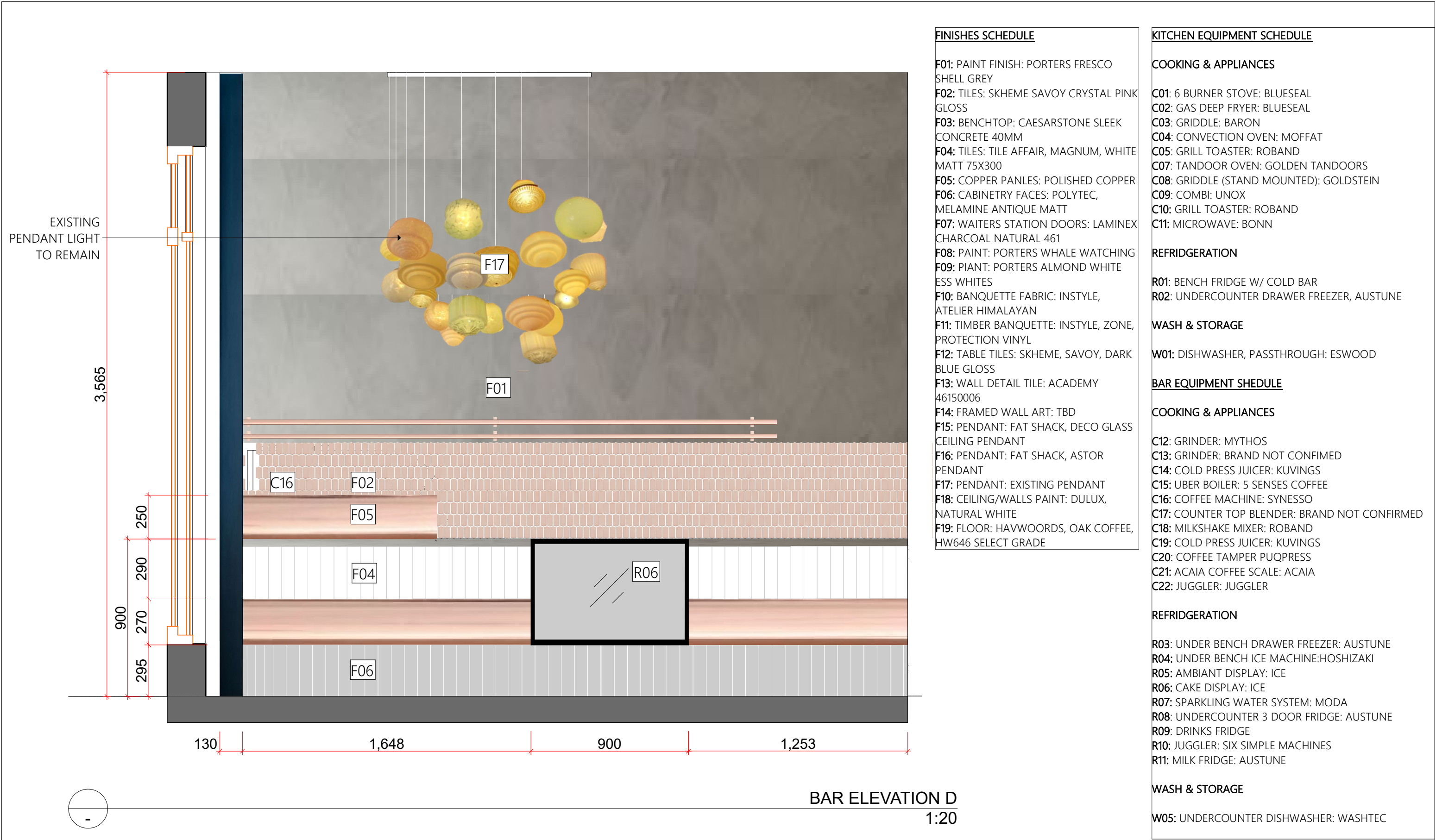
guru

hospitality projects

GURU PROJECTS PTY LTD

UNIT 303, 30-40 HARCOURT
PARADE,ROSEBERY NSW

ABN: 69 600 911 082 Tel: 0416 648 751



FINISHES SCHEDULE

- F01:** PAINT FINISH: PORTERS FRESCO SHELL GREY
F02: TILES: SKHEME SAVOY CRYSTAL PINK GLOSS
F03: BENCHTOP: CAESARSTONE SLEEK CONCRETE 40MM
F04: TILES: TILE AFFAIR, MAGNUM, WHITE MATT 75X300
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- C01:** 6 BURNER STOVE: BLUESEAL
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- R01:** BENCH FRIDGE W/ COLD BAR
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- WASH & STORAGE**
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- BAR EQUIPMENT SHEDULE**
- COOKING & APPLIANCES**
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C21: ACAIA COFFEE SCALE: ACAIA
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- R03:** UNDER BENCH DRAWER FREEZER: AUSTUNE
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R11: MILK FRIDGE: AUSTUNE
- WASH & STORAGE**
- W05:** UNDERCOUNTER DISHWASHER: WASHTEC

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					MR. TARAN TAMANA	BAR ELEVATION D	DA 20
					PROJECT:	STATUS:	REVISION:
					AVENUE RD CAFE	DEVELOPMENT APPLICATION	
					LOCATION:	DRAWN BY:	DWG DATE:
					185 AVENUE ROAD, MOSMAN NSW 2088	E.T.	20.11.2017
	NO.	DATE	BY	REVISION NOTES		CHECKED BY:	SCALE:
						S.J./D.V.	AS STATED

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GURU PROJECTS PTY LTD

UNIT 303, 30-40 HARCOURT PARADE, ROSEBERY NSW

ABN: 69 600 911 082 Tel: 0416 648 751

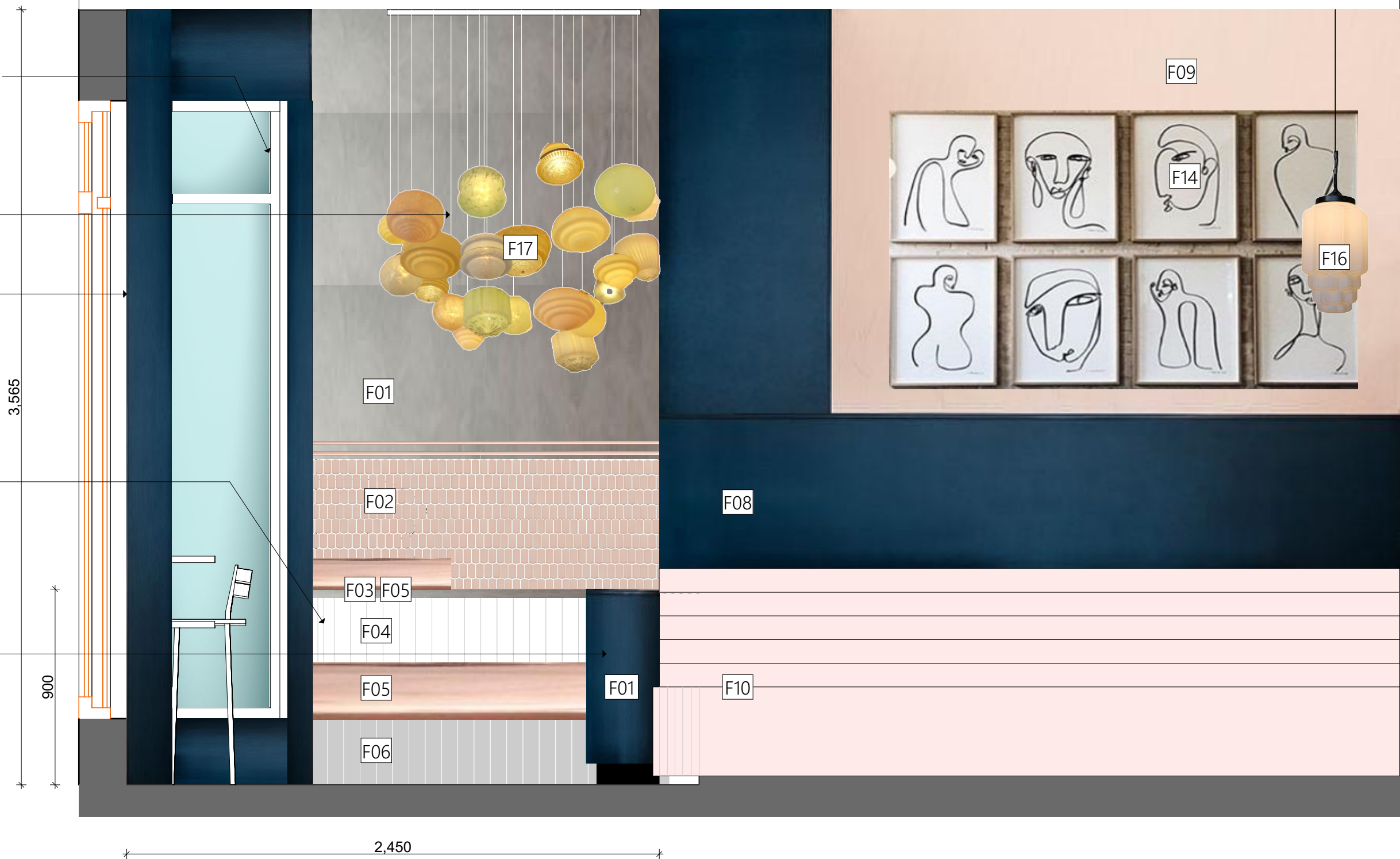
EXISTING WINDOWS
AND WINDOW FRAMES
TO REMAIN: FRAMES
TO BE RE-PAINTED IN
DULUX: NATURAL
WHITE

EXISTING PENDANT
LIGHT TO REMAIN

PROPOSED OPENING
OF WALL: 2450MM
WIDE

PROPOSED EXTENSION
OF COFFEE BAR:
COPPER AND TILED
FACADE

PROPOSED WAITERS
STATION: LAMINEX
CHARCOAL MATT WITH
CAESARSTONE
BENCHTOP (SLEEK
CONCRETE)



FOH ELEVATION 1
1:20

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NO.	DATE	BY	REVISION NOTES

CLIENT:	MR. TARAN TAMANA	DRAWING TITLE:	FOH ELEVATION 1	DRAWING NUMBER:	DA 21
PROJECT:	AVENUE RD CAFE	STATUS:	DEVELOPMENT APPLICATION	REVISION:	
LOCATION:	771 MILITARY ROAD, MOSMAN NSW 2088	DRAWN BY:	E.T.	DWG DATE:	20.11.2017
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PARADE, ROSEBERY NSW
ABN: 69 600 911 082 Tel: 0416 648 751



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*THIS DRAWING HAS BEEN PRODUCED TO ILLUSTRATE DESIGN INTENT.					CHECKED BY:	SCALE:	
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*CONTRACTOR ARE TO LIAISE WITH THIRD PARTY SUPPLIERS TO CONFIRM EXACT REQUIREMENTS.							
NO.	DATE	BY	REVISION NOTES	771 MILITARY ROAD, MOSMAN NSW 2088	E.T.	20.11.2017	

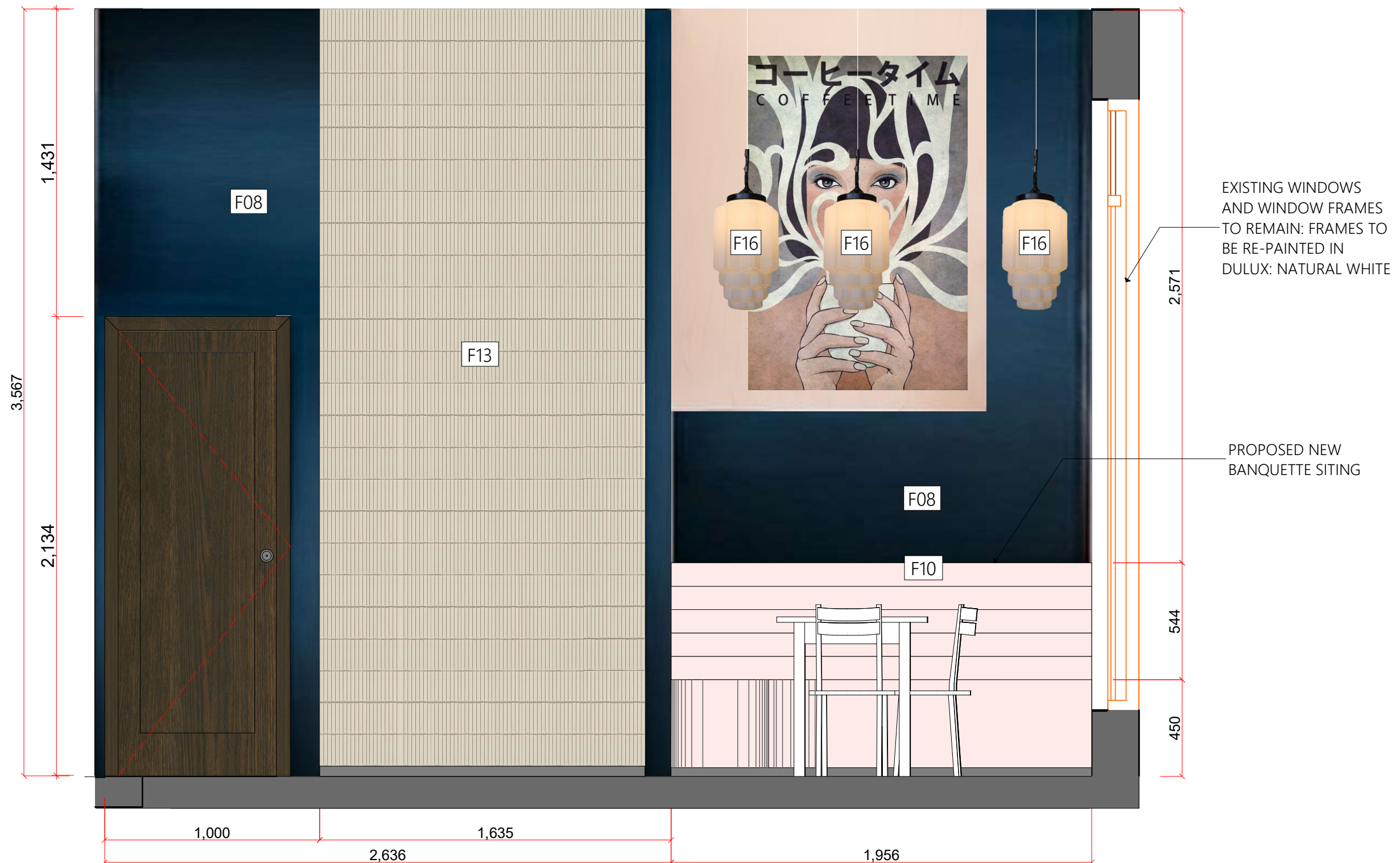


FINISHES SCHEDULE

- F01: PAINT FINISH: PORTERS FRESCO SHELL GREY
F02: TILES: SKHEME SAVOY CRYSTAL PINK GLOSS
F03: BENCHTOP: CAESARSTONE SLEEK CONCRETE 40MM
F04: TILES: TILE AFFAIR, MAGNUM, WHITE MATT 75X300
F05: COPPER PANLES: POLISHED COPPER
F06: CABINETRY FACES: POLYTEC, MELAMINE ANTIQUE MATT
F07: WAITERS STATION DOORS: LAMINEX CHARCOAL NATURAL 461
F08: PAINT: PORTERS WHALE WATCHING
F09: PIANT: PORTERS ALMOND WHITE ESS WHITES
F10: BANQUETTE FABRIC: INSTYLE, ATELIER HIMALAYAN
F11: TIMBER BANQUETTE: INSTYLE, ZONE, PROTECTION VINYL
F12: TABLE TILES: SKHEME, SAVOY, DARK BLUE GLOSS
F13: WALL DETAIL TILE: ACADEMY 46150006
F14: FRAMED WALL ART: TBD
F15: PENDANT: FAT SHACK, DECO GLASS CEILING PENDANT
F16: PENDANT: FAT SHACK, ASTOR PENDANT
F17: PENDANT: EXISTING PENDANT
F18: CEILING/WALLS PAINT: DULUX, NATURAL WHITE
F19: FLOOR: HAVWOODS, OAK COFFEE, HW646 SELECT GRADE

FOH ELEVATION 3
1:20

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					MR. TARAN TAMANA	FOH ELEVATION 3	DA 23
					PROJECT:	STATUS:	REVISION:
					AVENUE RD CAFE	DEVELOPMENT APPLICATION	
					LOCATION:	DRAWN BY:	DWG DATE:
					771 MILITARY ROAD, MOSMAN NSW 2088	E.T.	20.11.2017
						CHECKED BY:	SCALE:
						S.J./D.V.	AS STATED



FINISHES SCHEDULE

- F01:** PAINT FINISH: PORTERS FRESCO SHELL GREY
F02: TILES: SKHEME SAVOY CRYSTAL PINK GLOSS
F03: BENCHTOP: CAESARSTONE SLEEK CONCRETE 40MM
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F17: PENDANT: EXISTING PENDANT
F18: CEILING/WALLS PAINT: DULUX, NATURAL WHITE
F19: FLOOR: HAVWOODS, OAK COFFEE, HW646 SELECT GRADE

FOH ELEVATION 4
1:20

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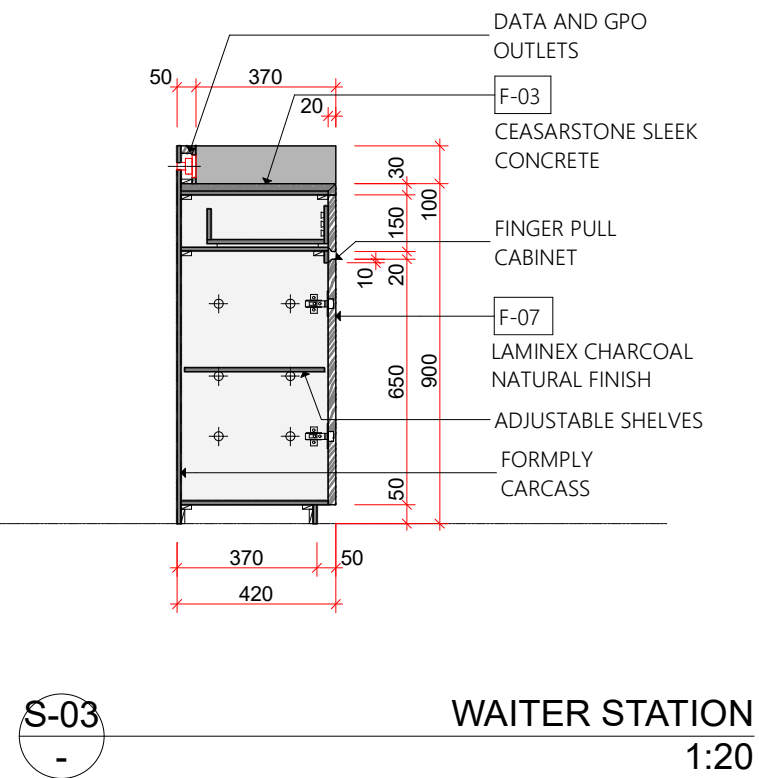
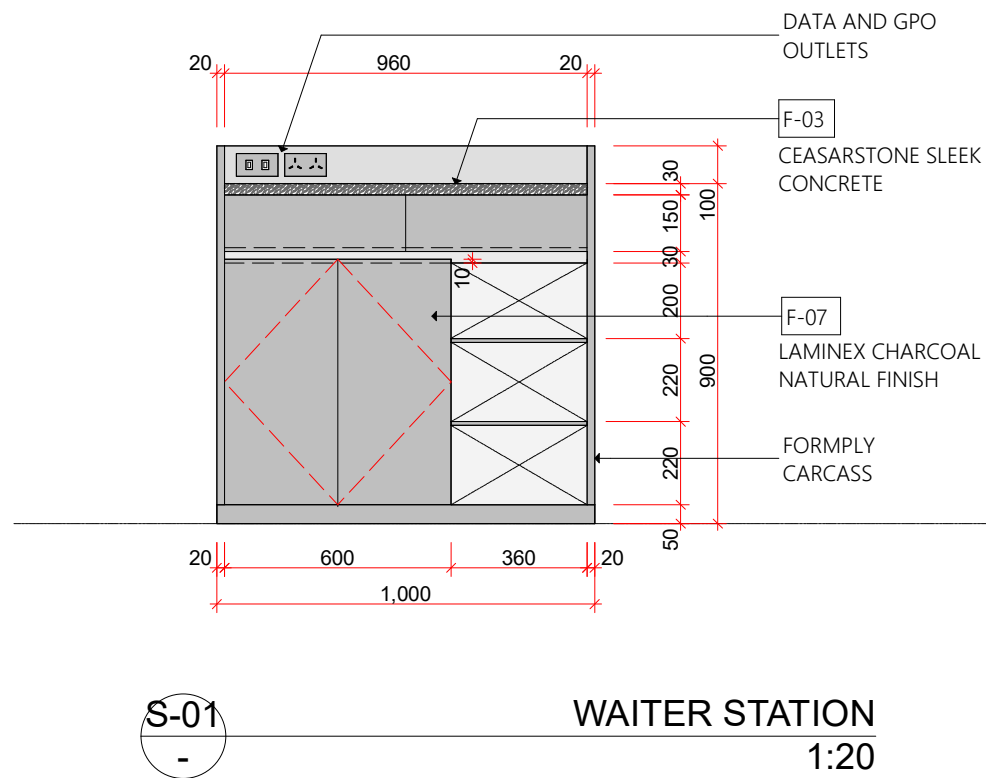
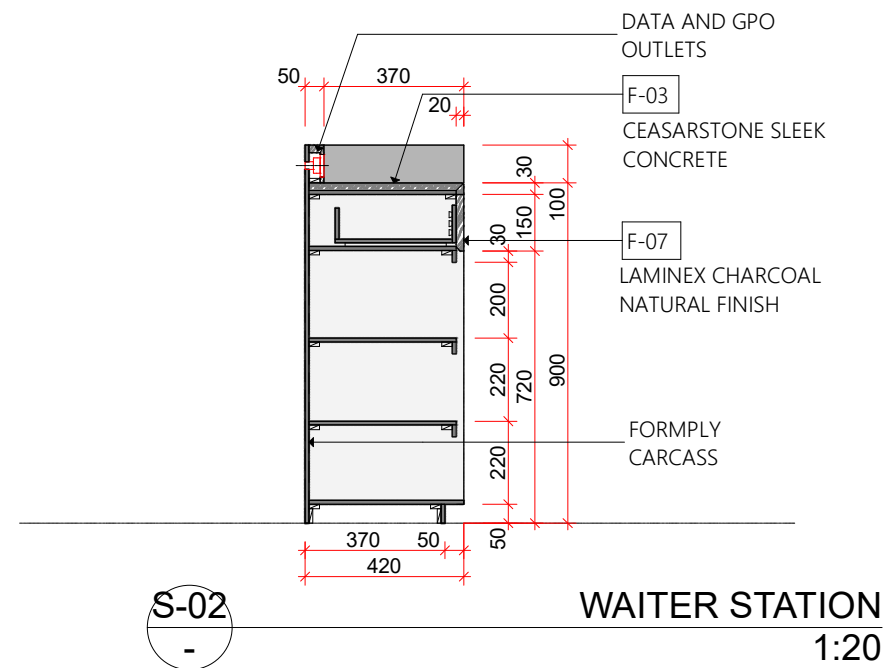
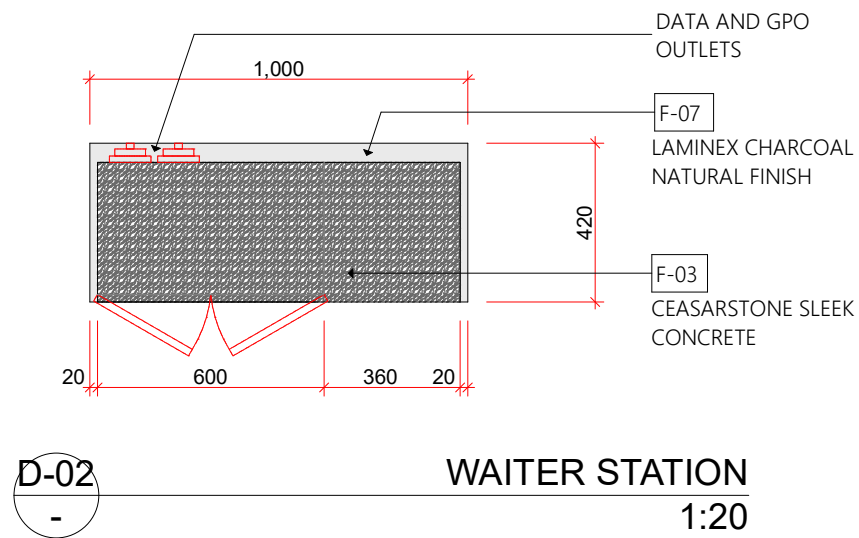
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NO.	DATE	BY	REVISION NOTES

CLIENT:	MR. TARAN TAMANA	DRAWING TITLE:	FOH ELEVATION 4	DRAWING NUMBER:	DA 24
PROJECT:	AVENUE RD CAFE	STATUS:	DEVELOPMENT APPLICATION	REVISION:	
LOCATION:	185 AVENUE ROAD, MOSMAN NSW 2088	DRAWN BY:	E.T.	DWG DATE:	20.11.2017
		CHECKED BY:	S.J./D.V.	SCALE:	AS STATED

guru
hospitality projects
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NO.	DATE	BY	REVISION NOTES

CLIENT:	MR. TARAN TAMANA	DRAWING TITLE:	WAITER STATION DETAIL	DRAWING NUMBER:	DA 27
PROJECT:	AVENUE RD CAFE	STATUS:	DEVELOPMENT APPLICATION	REVISION:	
LOCATION:	185 AVENUE ROAD, MOSMAN NSW 2088	DRAWN BY:	E.T.	DWG DATE:	20.11.2017
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